

# A G E N D A

SPECIAL MEETING OF THE MIDLAND CITY PLANNING COMMISSION,  
TO TAKE PLACE ON TUESDAY, APRIL 14, 2020 6:00 P.M.

*This meeting will be held electronically due to the COVID-19 pandemic.*

**Meeting/Webinar ID:** 405 659 093 **Password:** 924215

This meeting will not contain public comment as it is for the purpose of setting up and preparing for the Planning Commission's first electronic meeting.

To join via phone please call one of the following numbers:

+1 646 558 8656 | +1 312 626 6799 | +1 669 900 9128 | +1 253 215 8782 | +1 301 715 8592 | +1 346 248 7799

## **MEETING AGENDA:**

1. **Call to Order**
2. **Technical Assistance for Online Zoom Meeting**
3. **Adjournment**

# AGENDA

REGULAR MEETING OF THE MIDLAND CITY PLANNING COMMISSION,  
TO TAKE PLACE ON TUESDAY, APRIL 14, 2020 7:00 P.M.

***This meeting will be held electronically due to the COVID-19 pandemic.***

The meeting will be broadcasted live on ATT U-Verse Channel 99; MGTV Channel 188 and online at [CityofMidlandMI.gov/MCTV](http://CityofMidlandMI.gov/MCTV)

**Meeting/Webinar ID: 922 209 909 Password: 202918**

To speak at public comment join via telephone using one of the numbers below (audio only):

+1 646 558 8656 | +1 312 626 6799 | +1 669 900 9128 | +1 253 215 8782 | +1 301 715 8592 | +1 346 248 7799

## MEETING AGENDA:

1. **Call to Order**
2. **Pledge of Allegiance to the Flag**
3. **Roll Call**
4. **Approval of the Minutes**
  - a. Regular Meeting – March 10, 2020
5. **Public Hearings**
  - a. **Zoning Petition No. 630** - a rezoning request initiated by DGR Properties, LLC to rezone property located at 1420 Bayliss Street from RC Regional Commercial to RB Multiple Family Residential.
  - b. **Site Plan No. 398** - initiated by Fashion Square Investments, LLC for site plan review and approval of a 9,000 square foot oral surgery medical clinic and office located at 5220 Eastman Avenue.
  - c. **Site Plan No. 399** - initiated by PKP Properties, LLC for site plan review and approval of a 22-unit multiple family residential development, totaling 50,688 square feet, located at 4908 and 4912 Universal Drive.

### Public Hearing Process

1. Staff presentation and overview of petition
  2. Petitioner presentation
  3. Public comments in support of the petition
  4. Public comments in opposition to the petition
  5. Opportunity for petitioner rebuttal and final comments
  6. Closing of public hearing
  7. Deliberation and possible decision by Planning Commission
6. **Old Business**
  7. **Public Comments (unrelated to items on the agenda)**
  8. **New Business**
  9. **Communications**

*Meeting agenda continues on next page*

# AGENDA

APRIL 14, 2020 MEETING AGENDA CONTINUED:

10. Report of the Chairperson
11. Report of the Planning Director
12. Items for Next Agenda – April 28, 2020
  - a. Site Plan Review Process Further Details
13. Adjournment

**MINUTES OF THE REGULAR MEETING OF THE  
MIDLAND CITY PLANNING COMMISSION,  
TO TAKE PLACE ON TUESDAY, MARCH 10, 2020 7:00 P.M.,  
LAW ENFORCEMENT CENTER MULTI PURPOSE ROOM  
2727 RODD STREET, MIDLAND, MICHIGAN**

1. The meeting was called to order at 7:00 p.m. by Vice Chairman Hanna.
2. The Pledge of Allegiance was recited in unison by the members of the Commission and the other individuals present.
3. Roll Call

**PRESENT:** Bain, Hanna, Koehlinger, Pnacek, Sajbel, Broderick, and Rodgers

**ABSENT:** Heying and Mayville

**OTHERS PRESENT:** Grant Murschel, Director of Planning & Community Development; Rachel Guentensberger, Administrative Assistant; and four (4) others

4. **Approval of Minutes**

Broderick made a motion to approve the minutes of the regular meeting of February 11, 2020 with noted correction on page 3, seconded by Rodgers. Motion carries 7-0.

5. **Public Hearings**

- a. Conditional Use Permit No 67. - initiated by Benjamin Hayes to approve a Conditional Use Permit for a single family residential use in an OS Office Service zoning district. The property is located at 2905 W. Wackerly Street.

Murschel gave the staff presentation for Conditional Use Permit No 67.

Benjamin Hayes, 2905 W. Wackerly Street, stated that he has no plans to change or drastically improve the property, his intent is to have it remain a single family home but needs the home to be legally compliant in order for him to refinance the mortgage.

Comments in support – None.

Comments in opposition – None.

Hanna closed the public hearing.

Sajbel made a motion to waive the rules of procedure and render a decision this evening, seconded by Pnacek. Motion carries 7-0.

Sajbel made a motion to recommend approval of Conditional Use Permit No. 67 as proposed. The motion was seconded by Rodgers.

Yeas: Bain, Hanna, Koehlinger, Pnacek, Sajbel, Broderick, and Rodgers  
Nays: None

Motion carries 7-0.

- b. Conditional Use Permit No 68. - initiated by Midland County Habitat for Humanity to approve a Conditional Use Permit for a single family residential dwelling in an RB Multiple-Family Residential zoning district. The property is located at 311 Sam Street

Murschel gave the staff presentation for Conditional Use Permit No 68.

Petitioners Jennifer Chappel and Eric Ostrander both with Midland County Habitat for Humanity:

Chappel gave an overview of petition. She also referenced previous Conditional Use Permits for the same type of project in the area of the proposed site. Bain questioned Mr. Ostrander about possible drainage issues on the parcel. Ostrander shared that he has begun consultation with the Engineering Department and they do not anticipate any issues with drainage.

One (1) written comment was received indicating no objection to the proposed.

Comments in support – None.

Comments in opposition – None.

Hanna closed the public hearing.

Pnacek made a motion to waive the rules of procedure and render a decision this evening, seconded by Bain. Motion carries 7-0.

Rodgers made a motion to recommend approval of Conditional Use Permit No. 68 as proposed, seconded by Sajbel.

Yeas: Bain, Hanna, Koehlinger, Pnacek, Sajbel, Broderick, and Rodgers  
Nays: None

Motion carries 7-0.

6. **Old Business** – None.

7. **Public Comments** (unrelated to items on the agenda) – None.

8. **New Business** – None.

9. **Communications** – None.

10. **Report of the Chairperson** - None.

11. **Report of the Planning Director** - None.

12. **Items for Next Agenda – March 24, 2020**

a. **Zoning Petition No. 630** - a rezoning request initiated by DGR Properties, LLC to rezone property located at 1420 Bayliss Street from RC Regional Commercial to RB Multiple Family Residential.

b. **Site Plan No. 398** - initiated by Fashion Square Investments, LLC for site plan review and approval of a 9,000 square foot oral surgery medical clinic and office located at 5220 Eastman Avenue.

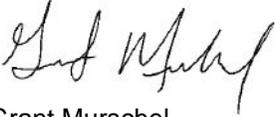
**c. Site Plan No. 399** - initiated by PKP Properties, LLC for site plan review and approval of a 22-unit multiple family residential development, totaling 50,688 square feet, located at 4908 and 4912 Universal Drive.

**d. Site Plan Review Process Further Details**

**13. Adjournment**

It was moved by Pnacek and seconded by Sajbel to adjourn at 7:26 p.m. Motion passed unanimously.

Respectfully submitted,



Grant Murschel  
Director of Planning & Community Development

MINUTES ARE NOT FINAL UNTIL APPROVED BY THE PLANNING COMMISSION



**STAFF REPORT TO THE PLANNING COMMISSION  
APRIL 9, 2020**

Subject: Zoning Petition #630 (Rezoning Request)

Applicant: DGR Properties, LLC

Location: 1420 Bayliss Street

Area: 0.38 acres

Existing zoning: RC Regional Commercial

Proposed zoning: RB Multiple Family Residential B

Adjacent Zoning: North: OS Office Service  
South: RC Regional Commercial  
East: RC Regional Commercial  
West: RB Multiple Family Residential (conditional); RC Regional Commercial

Adjacent Development: North: Wooded land, radio station office and tower  
South: Single-family residential homes  
East: Vacant, wooded, commercial strip center  
West: Vacant, wooded land

---

**REPORT**

Zoning Petition No. 630, initiated by DGB Properties, LLC proposes to rezone the property known as 1420 Bayliss Street from RC Regional Commercial to RB Multiple Family Residential B. There are no conditions offered by the applicant; therefore, the full content and permitted uses within the RB Multiple Family Residential B zoning district must be considered.

*Aerial location maps, current zoning, and Future Land Use designation maps are enclosed.*

**BACKGROUND**

This parcel is currently zoned RC Regional Commercial, along with the property to the immediate east and south of the subject site. The site has been zoned RC since 2005, prior to that the site was zoned BB-2, a district that is no longer used but largely similar to RC. Prior to that in 1963, the site was rezoned from Residential B to Conditional; Conditional was a City zoning district that permitted commercial development.

Prior to 1963, while the site and the surrounding lands were zoned for residential purposes (Residential B), the single-family homes that exist to the south of the subject site were built. All of these homes were constructed in the late 1930's to early 1940's. Much of the commercial development that lies to the southeast of the site, including what is currently known as the Midland Towne Center, was developed in the late 1980's and early 1990's, according to City Assessing records.

In 2017, the property immediately to the west (1400 Bayliss Street via Zoning Petition No. 608) was conditionally rezoned to RB Multiple Family Residential B. The condition offered by the applicant and approved by City Council was to limit any future development to only a single duplex.

The proposed RB Multiple Family Residential zoning district is intended to address the varied housing needs of residents by providing areas for attached housing at a higher density than is permitted in any of the single-family residential districts. It is further intended that multiple-family housing 1) be designed with essential services, such as public water and sewer, and outdoor recreation space and recreation facilities; 2) have access to roads that can adequately handle the traffic generated by such uses; and 3) be designed to be compatible with surrounding uses, especially when a Multiple Family Residential District serves as a transitional use between single family residential development and more intensive development.

## ASSESSMENT

In accordance with Section 30.03(D) of the Zoning Ordinance, the Planning Commission and City Council shall at minimum, consider the following before taking action on any proposed zoning map amendment:

### 1. Is the proposed amendment consistent with the City's Master Plan?

The Future Land Use map of the City's Master Plan identifies the subject area as Commercial. Lands to the south and east are also designated as Commercial. According to the City Master Plan, Commercial areas are intended to have a variety of uses, determined by the size and geographic location of the planned areas (e.g. large commercial centers versus small neighborhood commercial nodes). Consistent with this description, and given the scale of the surrounding commercial development, this particular area of the city has been planned for larger scale commercial centers.

The area surrounding the subject site contains a mix of different designations. To the north of the site, the future land use designation is Office-Service. To the west of the site, the lands are planned for High Density Residential purposes. To the northwest of the site, the area is planned for Institutional and Civic. The surrounding designations place this site within a transition area where land is planned for four different uses: residential, institutional and civic, office-service, and commercial.

### 2. Will the proposed amendment be in accordance with the intent and purpose of the Zoning Ordinance?

*"Section 1.02 B Intent : It is the purpose of this Zoning Ordinance to promote the public health, safety, comfort, convenience, and general welfare of the inhabitants of Midland by encouraging the use of lands and natural resources in accordance with their character, adaptability and suitability for particular purposes; to enhance social and economic stability; to prevent excessive concentration of population; to reduce hazards due to flooding; to conserve and stabilize the value of property; to provide adequate open space for light and air; to prevent fire and facilitate the fighting of fires; to allow for a variety of residential housing types and commercial and industrial land uses; to minimize congestion on the public streets and highways; to facilitate adequate and economical provision of transportation, sewerage and drainage, water supply and distribution, and educational and recreational facilities; to establish standards for physical development in accordance with the objectives and policies contained in the Master Plan (Comprehensive Development Plan); and to provide for the administration and enforcement of such standards."*

In staff's opinion, the proposed rezoning would promote the basic intent of the zoning code through reclassification of the parcel as stated (outlined above) in the City's Zoning Ordinance, especially as it relates to providing for a variety of residential housing types.

### 3. Have conditions changed since the Zoning Ordinance was adopted that justifies the amendment?

Limited activity has taken place since the current commercial zoning district was established on this site in 1963. The development of the Midland Towne Center to the east was designed with the rear business accesses facing towards the site as well as the stormwater management basins being located behind the center. This design effectively limits the ability for the subject site, and the existing residences to the south, to be developed into business or commercial space without large-scale redevelopment.

The proposed amendment, along with the previously approved amendment in 2017 (ZP No. 608), will facilitate development of the site that is consistent with the general pattern of development along this portion of Bayliss Street.

**4. Will the amendment merely grant special privileges?**

No, the immediate area, to the south and northwest, has been used for residential purposes since the mid-1930's. The amendment will extend an existing RB Multiple Family Residential district that was initially brought to the east side of Bayliss Street back in 2017.

**5. Will the amendment result in unlawful exclusionary zoning?**

No. The zoning amendment will continue a pattern of zoning that is consistent with the general pattern of development in the area and in a manner that would not be considered exclusionary. The specific zoning request has been fashioned as an extension of the RB zoning to the west.

**6. Will the amendment set an inappropriate precedent?**

Perhaps. The proposed amendment will allow for development that is consistent with the general pattern of existing residential development along this portion of Bayliss Street. The amendment will extend an existing RB Multiple Family Residential district but it will also introduce residential zoning into an area where such zoning does not exist and where it has not been envisioned within the City Master Plan.

**7. Is the proposed zoning consistent with the zoning classification of surrounding land?**

Partially. Surrounding lands exhibit a pattern of mixed use and mixed zoning. The proposed zoning will permit residential development, which is considered an appropriate use given surrounding one family, multiple family, office service and commercial zoning. It is not, however, consistent with the RC zoning that applies to the south and east on adjacent properties.

**8. Is the proposed zoning consistent with the future land use designation of the surrounding land in the City Master Plan?**

Partially. The current Master Plan, adopted in 2007 and most recently updated in 2018, and the previous Master Plan, adopted in 1997, established the subject site and the immediate lands surrounding as a transitional area between residential, office-service, commercial, and recreational uses. While the subject site is designated as Commercial, consideration must be given to the character of this transitional area. It would be plausible to consider the proposed zoning as a reasonable extension of the High Density Residential designation and the RB Multiple Family Residential zoning district that is established across Bayliss Street.

**9. Could all requirements in the proposed zoning classification be complied with on the subject parcel?**

Yes, the subject parcel could meet all requirements of the RB Multiple Family Residential zoning district.

**10. Is the proposed zoning consistent with the trends in land development in the general vicinity of the property in question?**

Inconclusive. The proposed zoning classification of RB will be consistent with some of the existing residential land uses in the area. Aside from commercial development in the 1980's and 1990's, however, the area has remained stable and no development has taken place. No development trends are therefore apparent. Commercial and office service development is expected to continue to the north and southeast but can be planned in such a way to be consistent with high or medium density residential uses within the subject site and along Bayliss Street to the south. Likely use and redevelopment of the lands to the south is not clear despite the Commercial land use designation applied to these properties.

**ADDITIONAL STAFF COMMENTS**

One (1) written public comments has been received indicating no objection at the time this report was drafted.

**STAFF RECOMMENDATION**

Per the staff comments above, this application does not satisfy every one of the criteria that are to be considered during a zoning petition. That said, a positive response to every criteria is not necessary. With that in mind, and considering the totality of both the criteria and the circumstances, staff recommends approval of the rezoning petition for the following reasons:

- RB Multiple Family Residential zoning district is a reasonable extension of the zoning district that is immediately adjacent to the west of the subject site.
- The Future Land Use Map of the Master Plan establishes this area as a transitional zone between residential, office-service, commercial and recreational land uses.

- The proposed zoning district is considered appropriate given anticipated future development patterns in the area.

#### **PLANNING COMMISSION ACTION**

Staff currently anticipates that the Planning Commission will hold a public hearing on this request during its regular meeting on April 14, 2020 and will formulate a recommendation to City Council thereafter. If recommended to City Council the same evening, we anticipate that on April 27, 2020 the City Council will set a public hearing on this matter. Given statutory notification and publication requirements, the City Council will schedule a public hearing for May 18, 2020 at which time a decision will be made on the proposed zoning change. Please note that these dates are preliminary and may be adjusted due to Planning Commission action and City Council agenda scheduling.

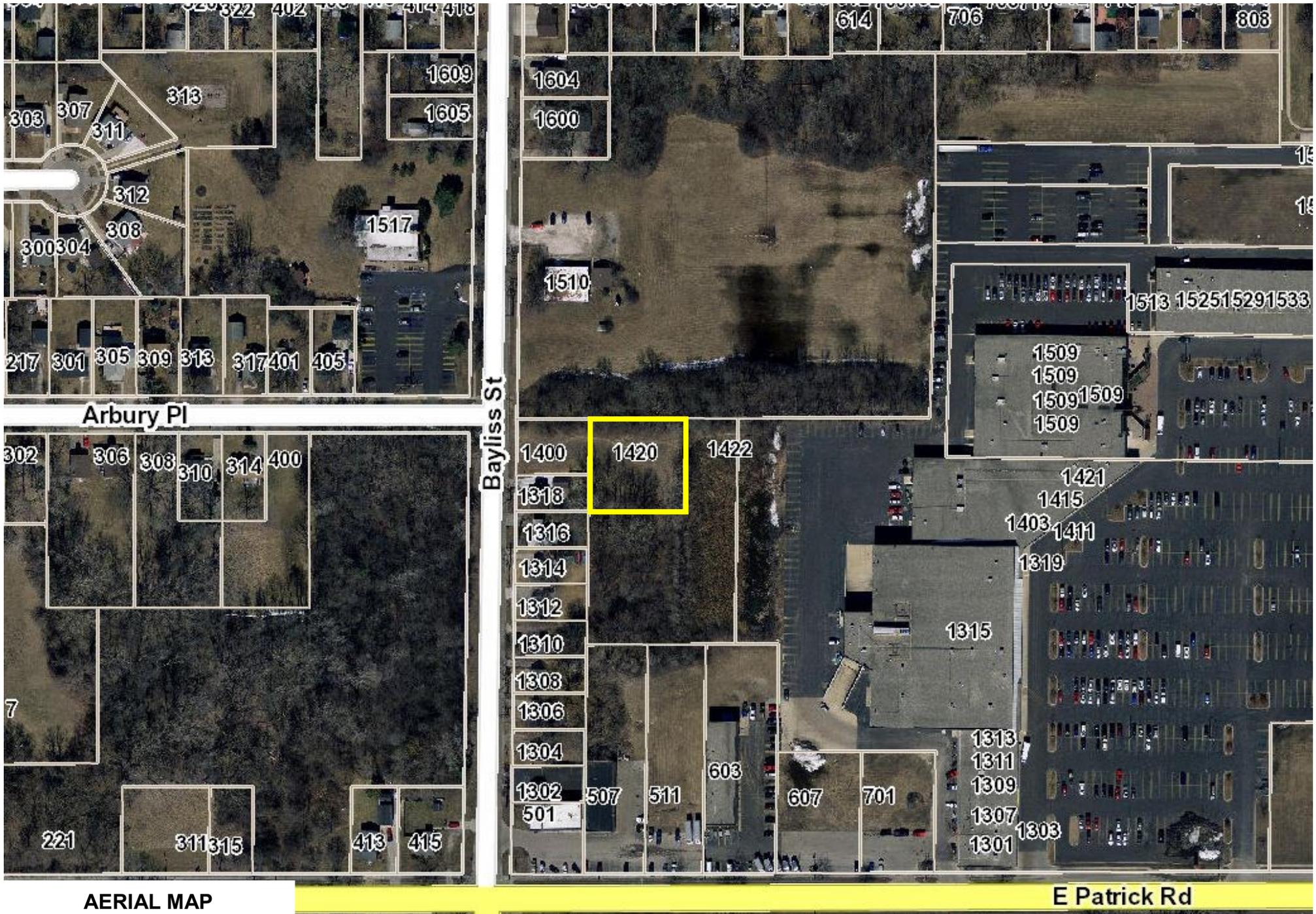
Respectfully Submitted,



Grant Murschel  
Director of Planning & Community Development

# ZP #630 | 1420 Bayliss Street

> RC Regional Commercial to RB Multiple Family Residential

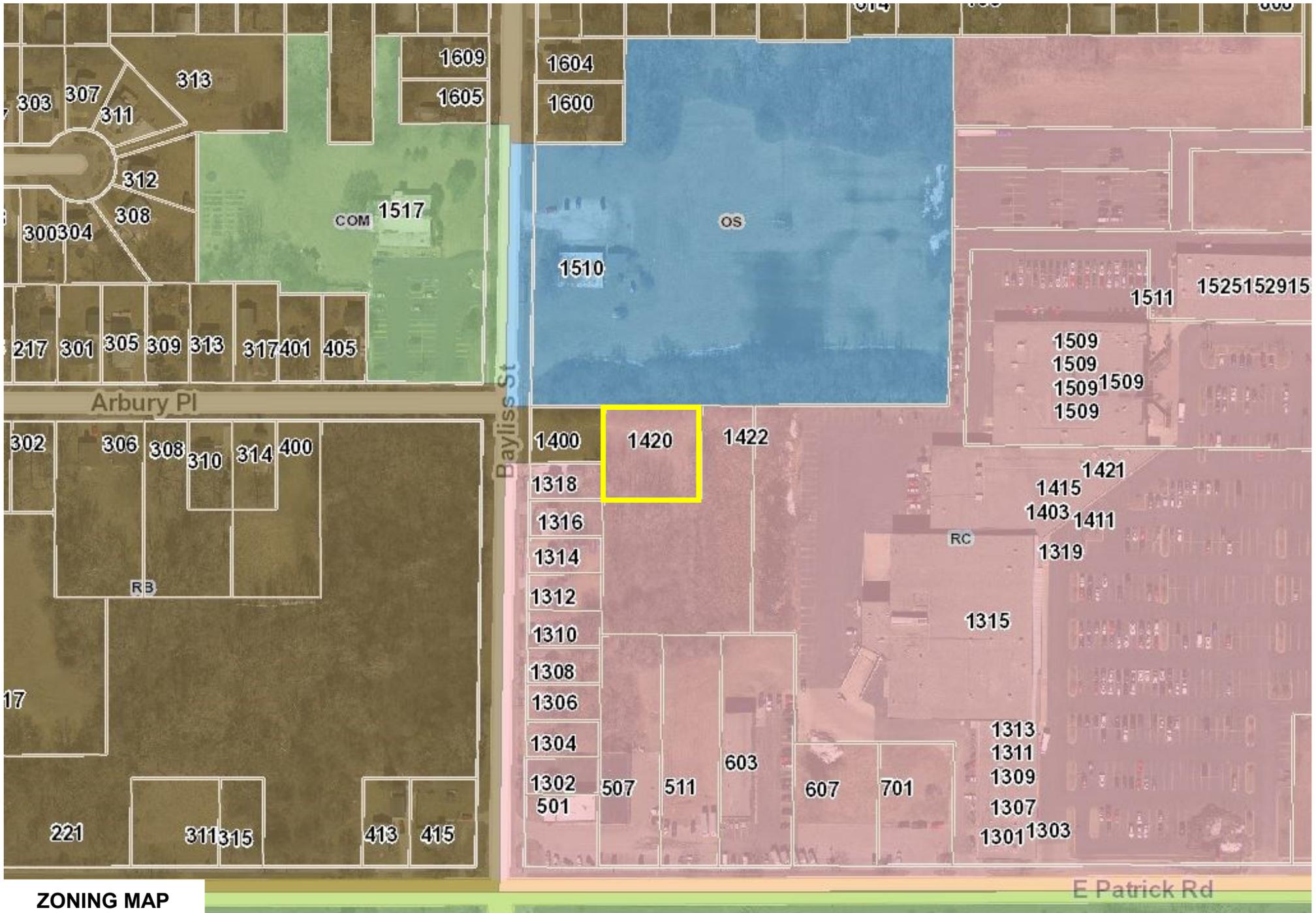


AERIAL MAP

E Patrick Rd

# ZP #630 | 1420 Bayliss Street

> RC Regional Commercial to RB Multiple Family Residential

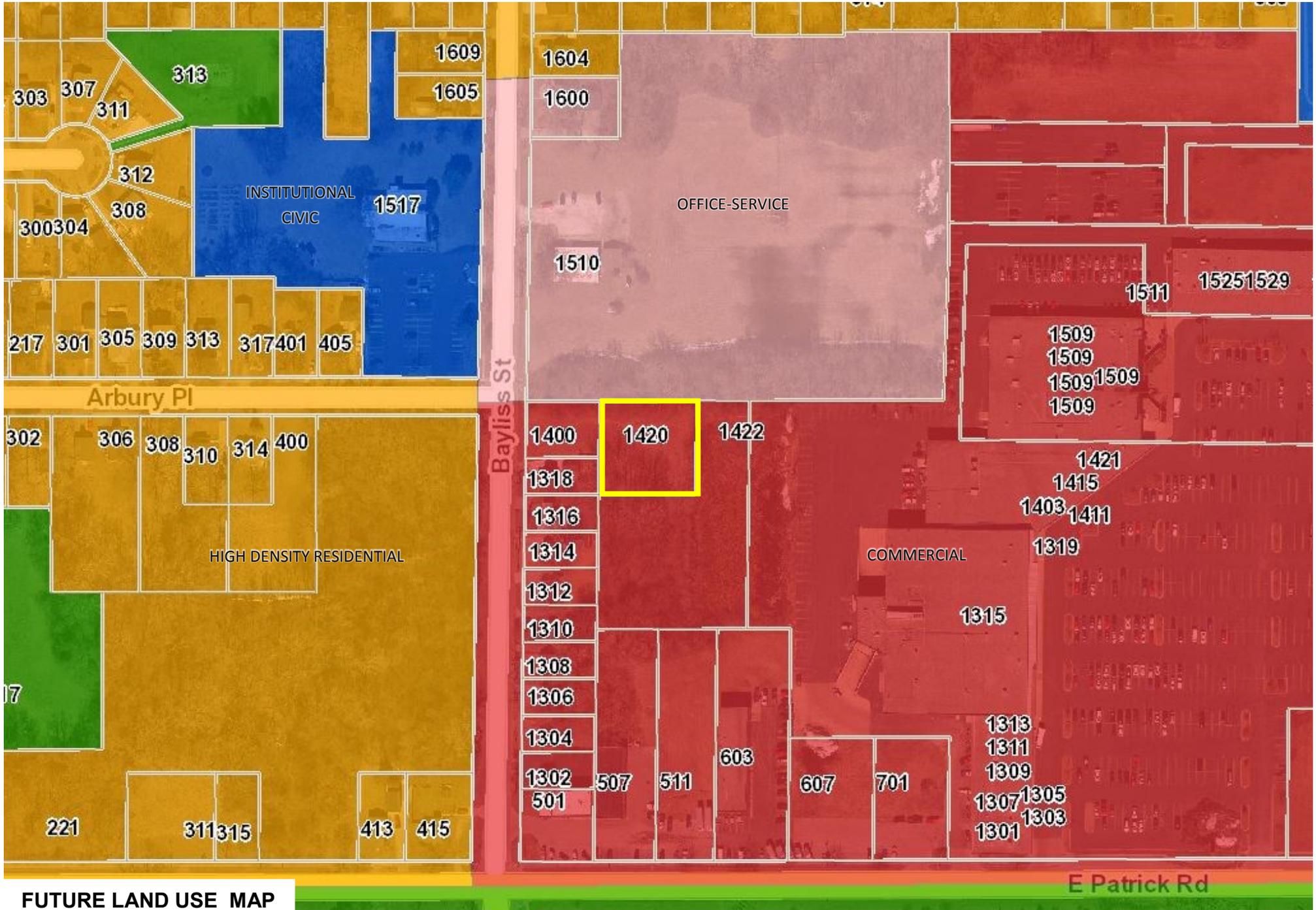


ZONING MAP

E Patrick Rd

# ZP #630 | 1420 Bayliss Street

> RC Regional Commercial to RB Multiple Family Residential



FUTURE LAND USE MAP

**PUBLIC HEARING NOTICE**  
**City of Midland**  
**Proposed Conditional Rezoning**

Please take notice that the Midland City Planning Commission will conduct a public hearing on Zoning Petition No. 630, a rezoning request initiated by DGR Properties, LLC to rezone property located at 1420 Bayliss Street from RC Regional Commercial to RB Multiple Family Residential B.

Said hearing will take place on Tuesday, March 24, 2020 at 7:00 p.m., in Council Chambers, City Hall, Midland, Michigan, as required by Article 30, Section 30.03(A) of Ordinance No. 1585.

If you have any questions, contact the City Planning Department at (989) 837-3374.

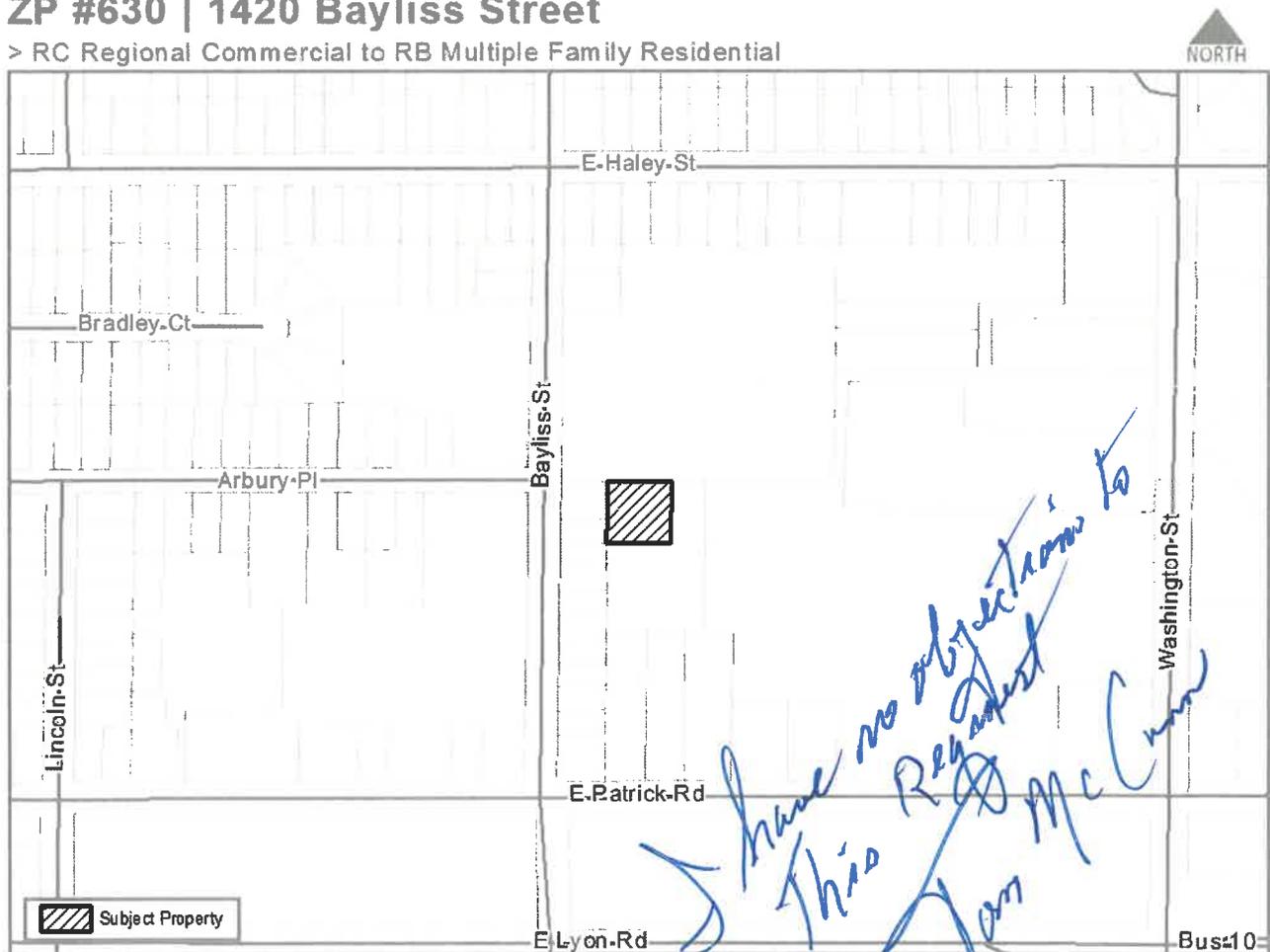
MIDLAND CITY PLANNING COMMISSION



Grant Murschel  
Director of Planning & Community Development

**ZP #630 | 1420 Bayliss Street**

> RC Regional Commercial to RB Multiple Family Residential





Site Plan SP #398

Date: April 9, 2020

**STAFF REPORT TO THE PLANNING COMMISSION**

SUBJECT: Greater Michigan Oral Surgeons and Dental Implant Center

APPLICANT: Fleis & VandenBrink on behalf of Fashion Square Investments, LLC

LOCATION: 5220 Eastman Avenue

ZONING: OS Office Service

ADJACENT ZONING: N: OS Office Service  
W: RA-1 Single-Family Residential  
E: RA-1 Single-Family Residential  
S: OS Office Service & RB Multiple Family Residential

ADJACENT DEVELOPMENT: N: Residential single family home  
W: Power substation, residential single family homes  
E: Residential single family homes  
S: Bank, commercial development, multiple family residential

**REPORT**

Site Plan No. 398 is the proposal by Fashion Square Investments, LLC to construct a 9,000 square foot medical office and surgery center to be known as Greater Michigan Oral Surgeons and Dental Implant Center. The subject property is located at the southeastern corner of Eastman Avenue and Sylvan Lane.

The subject property is zoned OS Office Service by the City of Midland Zoning Ordinance. Medical offices are a permitted use by right. Site plan review and approval under Section 27.02(A) of the Zoning Ordinance is required for this proposed use. Section 27.06(A) of the Zoning Ordinance states that: "The following criteria shall be used as a basis upon which site plans will be reviewed and approved:"

**BASIS FOR ACTION**

**1. Adequacy of Information**

The site plan shall include all required and requested information in sufficiently complete and understandable form to provide an accurate description of the proposed uses and structures.

This site plan contains almost all of the required information within its site plan. As is standard practice, the following items remain outstanding and will be addressed at the time of permitting:

1. A final stormwater management plan and permit.
2. A final soil erosion and sedimentation control permit.
3. A pedestrian connection from the public sidewalk into the interior of the site.
4. A solid masonry wall along the eastern property line.
5. Shared access easement agreement for future connection with the property to the immediate south.

2. **Site Design Characteristics**

All elements of the site design shall be harmoniously and efficiently organized in relation to topography, the size and type of parcel, the character of adjoining property, and the type and size of buildings. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted by this Ordinance.

The proposed site plan elements are efficiently organized within the parcel, with minimal vehicular driveway connections and appropriate screening techniques.

3. **Appearance**

Landscaping, earth berms, fencing, signs, walls and other similar site features shall be designed and located on the site so that the proposed development is aesthetically pleasing and harmonious with nearby existing or future developments.

The design and layout of the proposed development is consistent with adjacent office uses that are on the eastern side of Eastman Avenue in this area of the city. Appropriate landscaping, screening, and overall building location will provide an aesthetically pleasing development.

4. **Compliance with District Regulations**

The site plan shall comply with the district requirements for height of building, lot size, lot coverage, density, and all other requirements set forth in the Schedule of Regulations (Article 26.00) unless otherwise provided in this Ordinance.

The project meets all setback, lot area, height and other dimensional requirements for the proposed use in the OS zoning district.

5. **Preservation and Visibility of Natural Features**

Natural features shall be preserved as much as possible, by minimizing tree and soil removal alteration to the natural drainage course and the amount of cutting, filling, and grading.

The site as exists today is undeveloped and vacant. Retention of existing trees was not possible due to the location of the trees within the interior of the site. The natural drainage course would be utilized for stormwater management purposes.

6. **Privacy**

The site design shall provide reasonable visual and sound privacy. Fences, walls, barriers, and landscaping shall be used, as appropriate if permitted, for the protection and enhancement of property and the safety and privacy of occupants and uses.

The proposed site design provides visual privacy via a 6' privacy wall on the eastern edge of the site. This wall is required via a Consent Judgement of 1991 that specifies that a wall having a minimum height of six (6) feet be constructed along the east property line. The Consent Judgement specifically indicates that it must be a solid masonry wall. The applicant is proposing a wall that has sixteen (16) foot gaps with cedar slat panels, this does not appear to be in compliance with the Consent Judgement; therefore, staff is asking the applicant to modify the wall to be of solid masonry.

7. **Emergency Vehicle Access**

All buildings or groups of buildings shall be so arranged as to permit convenient and direct emergency vehicle access.

The proposed site plan has been arranged to permit appropriate access for emergency vehicles. Proper vehicle maneuvering around the building is also provided.

8. **Ingress and Egress**

Every structure or dwelling unit shall be provided with adequate means of ingress and egress via

public or private streets and pedestrian walkways.

Adequate vehicle ingress and egress is provided as proposed. The applicant is proposing a future shared access connection with the property to the south. Such a future connection will be beneficial to the properties along Eastman Avenue and the traffic flow on this corridor; the southern property is not required to connect at this time but during a future development or redevelopment it would be required. The provisions to connection will be there. A shared access easement agreement will be needed to facilitate the future connection, to the satisfaction of the City Planning Department.

A pedestrian connection must be included. Staff is asking for the applicant to include this within the site plan.

9. **Pedestrian Circulation**

Each site plan shall provide a pedestrian circulation system, which is insulated as completely as is reasonably possible from the vehicular circulation system.

While public sidewalks exist along Eastman Avenue and Sylvan Lane, the site plan does not proposed a pedestrian connection into the site. Such a connection is required by the zoning ordinance. Staff is proposing the inclusion of this within the recommended contingencies of approval.

10. **Vehicular and Pedestrian Circulation Layout**

The layout of vehicular and pedestrian circulation systems shall respect the pattern of existing or planned streets or pedestrian or bicycle pathways in the vicinity of the site. The width of streets and drives shall be appropriate for the volume of traffic they will carry in accordance with subsection 3.10. In order to insure public safety and promote efficient traffic flow and turning movements, the applicant may be required to limit street access points or construct a secondary access road.

Vehicular circulation is considered to be adequate as mentioned with the shared access easement agreement remaining outstanding. The pedestrian circulation will be improved with inclusion of the required sidewalk connection.

11. **Parking.**

The proposed development shall provide adequate off-street parking in accordance with the requirements in Article 5.00 of this ordinance.

The proposed development provides off-street parking that is in compliance with the City's parking standards.

12. **Drainage**

The project must comply with the City's Stormwater Ordinance.

As is consistent practice, preliminary plans have been submitted, and the final stormwater plan and permit must be approved by the City Engineering Department.

13. **Soil Erosion and Sedimentation**

The proposed development shall include measures to prevent soil erosion and sedimentation during and upon completion of construction, in accordance with current State, County, and City standards.

As is consistent practice, a soil erosion and sedimentation control permit is required at the construction permitting stage of development. No concerns regarding soil erosion or sedimentation control were identified during the departmental site plan review process.

14. **Exterior Lighting**

Exterior lighting shall be designed so that it is deflected away from adjoining properties and so that

it does not impede vision of drivers along adjacent streets and comply with the provisions in Section 3.12.

Proposed lighting is compliant with City standards, per the enclosed photometric plan.

15. **Public Services**

Adequate services and utilities, including water, sewage disposal, sanitary sewer, and storm water control services, shall be available or provided, and shall be designed with sufficient capacity and durability to properly serve the development. All streets and roads, water, sewer, and drainage systems, and similar facilities shall conform to the design and construction standards of the City.

Adequate public services exist to serve the proposed development. An additional fire hydrant is proposed, as required by the City Fire Department. The proposed canopy will be constructed at an appropriate level to allow Dial-A-Ride access. The only outstanding item remaining as it relates to public services is the final stormwater management permit.

16. **Screening**

Off-street parking, loading and unloading areas, outside refuse storage areas, and other storage areas shall be screened by walls or landscaping of adequate height and shall comply with Articles 6.00 and 7.00 of this Ordinance. All roof-top mechanical equipment shall be screened from view from all residential districts and public roadways.

As mentioned above, the required screening along the eastern property line must be enhanced to meet the requirements of the 1991 Consent Judgement. This has been included within the recommended contingencies by staff.

17. **Health and Safety Concerns**

Any use in any zoning district shall comply with all applicable public health, pollution, and safety laws and regulations.

No health and safety concerns have been identified in the review of this site plan.

18. **Sequence of Development**

All development phases shall be designed in logical sequence to insure that each phase will independently function in a safe, convenient and efficient manner without being dependent upon subsequent improvements in a later phase or on other sites.

The proposed on-site development is to be completed within one phase.

19. **Coordination with Adjacent Sites**

All site features; including circulation, parking, building orientation, landscaping, lighting, utilities, common facilities, and open space shall be coordinated with adjacent properties.

The proposed development will require minimal coordination with the eastern property to allow for construction of the masonry wall. The future shared access with the property to the south will be an additional feature of coordination when this connection is made in the future.

20. **Signs.**

All proposed signs shall be in compliance with the regulations in Article 8.00 of this Ordinance

The site plan provides conceptual signage. All proposed signs shall apply for sign permits in line with the requirements of Article 8.00 and be approved by the City Building Department.

**CONTINGENCY ITEMS**

Based on evaluation of the site plan as proposed, staff is of the opinion that the proposal meets the City's requirements and is designed in a manner to fit harmoniously into this area of the city. That said,

inclusion of the following contingencies should be maintained in order for the plan to fully satisfy City requirements:

1. A final stormwater management plan and permit to the satisfaction of the City Engineering Department.
2. A final soil erosion and sedimentation control permit to the satisfaction of the City Building Department.
3. A pedestrian connection from the public sidewalk into the interior of the site to the satisfaction of the City Planning Department.
4. A solid masonry wall along the eastern property line to the satisfaction of the City Planning Department.
5. Shared access easement agreement for future connection with the property to the immediate south to the satisfaction of the City Planning Department.

#### **PLANNING COMMISSION ACTION**

Staff currently anticipates that the Planning Commission will hold a public hearing on this request during its regular meeting on April 14, 2020 and will formulate a recommendation to City Council thereafter. If recommended to City Council the same evening, we anticipate that on April 27, 2020 the City Council will consider the site plan and Planning Commission recommendation. Please note that these dates are merely preliminary and may be adjusted due to Planning Commission action and City Council agenda scheduling.

Respectfully Submitted,



Grant Murschel  
Director of Planning & Community Development

# SITE PLAN OF PROPOSED GREATER MICHIGAN ORAL SURGEONS AND DENTAL IMPLANT CENTER CITY OF MIDLAND, MIDLAND COUNTY, MI

**SITE PLAN: FEBRUARY 28, 2020**  
**REV. SITE PLAN: APRIL 6, 2020**



**PROJECT RENDERING FROM EASTMAN AVENUE**

RENDERING COURTESY OF FUNCHITECTURE, LLC



**LOCATION MAP**

NOT TO SCALE



NORTH

**PROPERTY DESCRIPTION**

PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 4, T14N-R2E, CITY OF MIDLAND, MIDLAND COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING AT A POINT WHICH IS N 03 DEG 12 MIN 11 SEC E, 1324.46 FT. ALONG THE WEST SECTION LINE FROM THE SOUTHWEST CORNER OF SAID SECTION 4; THENCE N 03 DEG 12 MIN 11 SEC E, 230.00 FT. ALONG THE WEST SECTION LINE; THENCE S 86 DEG 56 MIN 37 SEC E, 171.49 FT. ALONG THE SOUTH RIGHT OF WAY LINE OF SYLVAN LANE; THENCE ALONG A 699.25 FT. RADIUS CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 10 DEG 35 MIN 54 SEC AND A LONG CHORD BEARING AND DISTANCE OF S 81 DEG 34 MIN 06 SEC E, 129.16 FT. ALONG THE SOUTH RIGHT OF WAY LINE OF SYLVAN LANE; THENCE S 03 DEG 13 MIN 31 SEC W, 217.90 FT. ALONG THE WEST PLAT LINE OF BRENTWOOD HEIGHTS NO. 2, AS RECORDED IN LIBER H OF PLATS, ON PAGE 21 OF MIDLAND COUNTY RECORDS; THENCE N 86 DEG 56 MIN 37 SEC W, 300.03 FT. ALONG THE SOUTH 1/8 LINE TO THE POINT OF BEGINNING, CONTAINING 1.57 ACRES AND BEING SUBJECT TO EASTMAN AVENUE RIGHT OF WAY AND ANY OTHER EASEMENTS OF RECORD.

THE ABOVE DESCRIPTION WAS PROVIDED BY THE OWNER.

**MUNICIPAL REVIEWS AND/OR APPROVALS**

TYPE OF REVIEW	ADMINISTRATIVE	PLANNING COMMISSION	CITY COUNCIL
SITE PLAN - PUBLIC HEARING	02-28-20 (SUBMITTED)	-	N/A
SITE PLAN - FINAL	-	N/A	-

**REVIEWING AGENCY / UTILITY COMPANY LIST**

AGENCY/UTILITY COMPANY	DATE SUBMITTED	CONTACT PERSON	TELEPHONE NUM.
CITY OF MIDLAND PLANNING DEPT.	02-28-20	GRANT MURSCHER	989-837-3374
ENGINEERING DEPT.	TBD	SHANE BJORGE	989-837-3353
BUILDING DEPT. (SESC REVIEW)	TBD	STEPHEN TAGLAUER	989-837-3388
MDOT - BAY REGION TSC	02-28-20	BILL MAYHEW	989-773-7756
CONSUMERS ENERGY NEW SERVICES	02-28-20	KURT GOLDING	989-999-9999
AT&T	02-28-20	MONICA SHADOWENS	248-456-0865
CHARTER COMMUNICATIONS	02-28-20	DAN BIELACZYC	231-941-3819

TBD= TO BE SUBMITTED UPON RECEIVING SITE PLAN APPROVAL

**SHEET INDEX**

DESCRIPTION	SHEET NO.
COVER SHEET	CS
PROPOSED SITE LAYOUT	C1
EXISTING CONDITIONS & REMOVALS	C2
SOIL EROSION & SEDIMENTATION CONTROL	C3
GRADING AND UTILITY PLAN	C4
LANDSCAPE PLAN	C5
UNDERGROUND DETENTION DETAILS	C6.1
SITE DETAILS	C6.2
TRAFFIC CONTROL & LANDSCAPE DETAILS	C6.3



**OWNER/APPLICANT**  
DR. ROBERT C. LESNESKI  
GREATER MICHIGAN ORAL SURGEONS  
& DENTAL IMPLANT CENTER  
5417 GATEWAY CENTER  
FLINT, MI 48507  
810-424-0705

**GENERAL CONTRACTOR**  
CASE CONSTRUCTION COMPANY  
6235 CORUNNA ROAD  
FLINT, MI 48532  
810-732-2000

**SITE ENGINEER**  
FLEIS & VANDENBRINK  
9475 N. HOLLY ROAD  
SUITE 201  
GRAND BLANC, MI 48439  
810-743-9120

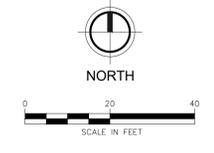
**ARCHITECT**  
FUNCHITECTURE, LLC  
111 EAST COURT ST., SUITE 3D  
FLINT, MI 48502  
810-287-6668

**NOT FOR CONSTRUCTION**

APRIL 06, 2020

FAV PROJECT NO.  
837210

**CS**



**PROPOSED SITE LAYOUT LEGEND**

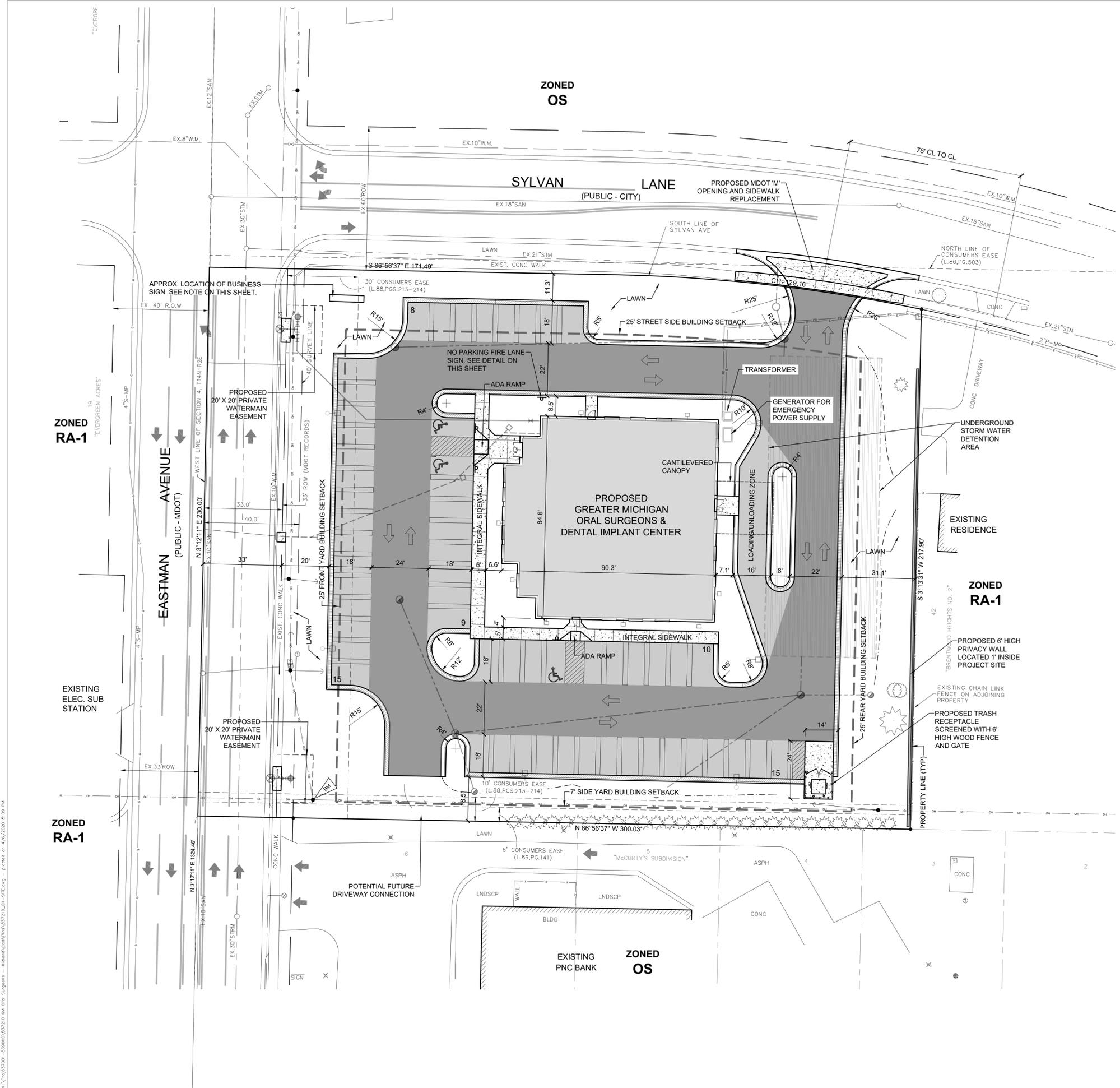
- STANDARD CURB & GUTTER
- MODIFIED CURB & GUTTER
- HMA PAVEMENT - HEAVY DUTY
- HMA PAVEMENT - STANDARD
- CONCRETE SIDEWALK
- PAINTED PAVEMENT STRIPING
- BARRIER FREE PAVEMENT MARKING
- BOLLARDS
- SIGNS
- PARKING LOT LIGHTS
- WALL MOUNTED LIGHTS
- PROPOSED TRAFFIC FLOW ARROW
- PRIVACY WALL
- WOOD FENCE

**SITE LAYOUT NOTES**

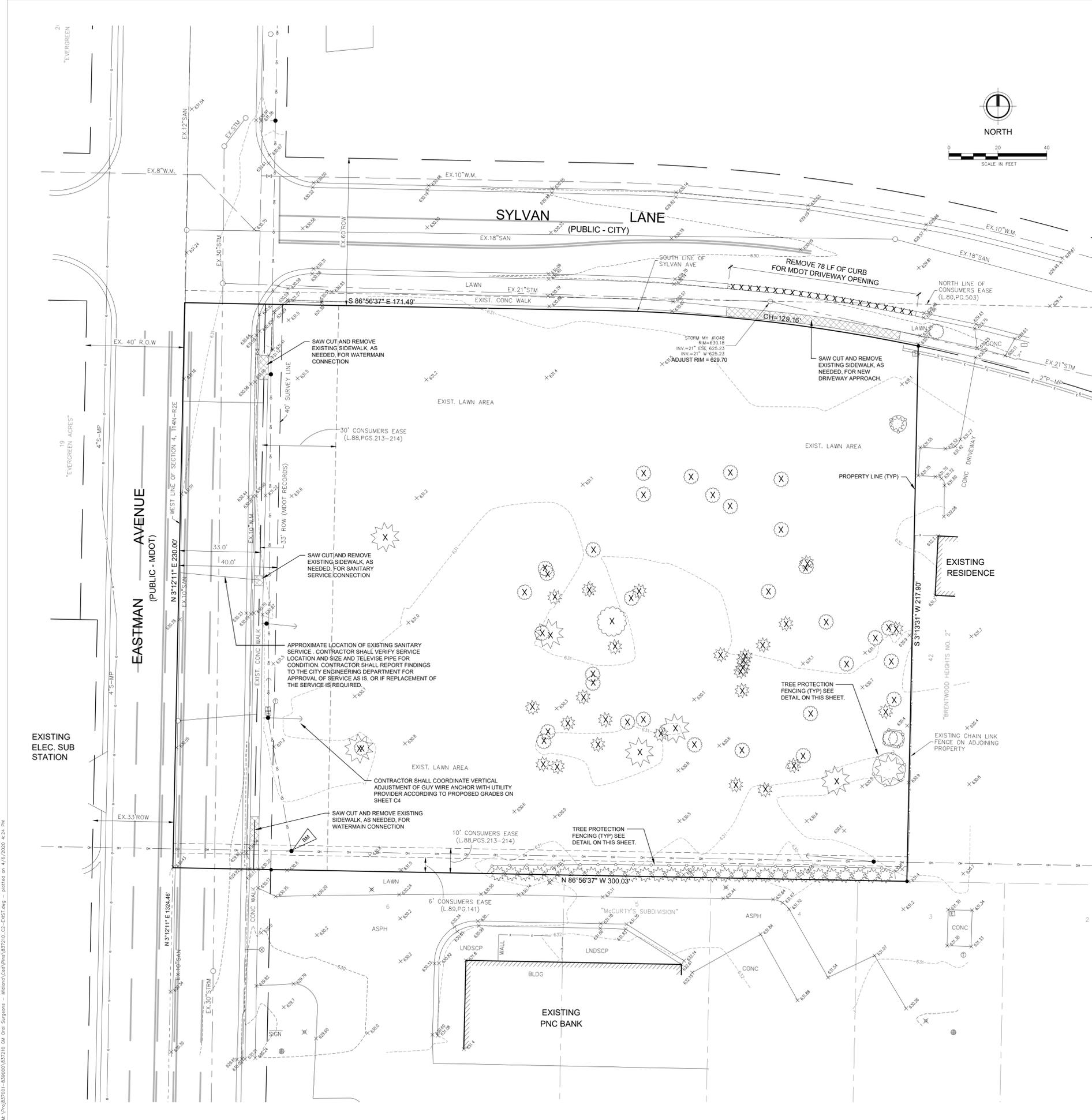
- PARCEL DATA**
- SITE ADDRESS: 5220 EASTMAN AVE  
CURRENT ZONING: OS - OFFICE SERVICE DISTRICT  
PARCEL SIZE: 1.57± GROSS ACRES (1.36± NET ACRES)
- LAND USE**
- EXISTING: VACANT  
PROPOSED LAND USE: THIS PROJECT INVOLVES THE CONSTRUCTION OF A 9,000 SQUARE FOOT MEDICAL CLINIC PROVIDING VARIOUS TYPES OF ORAL CARE INCLUDING EXTRACTIONS, ORAL RESTORATION, PATHOLOGY, AND IMPLANT SERVICES ON AN OUTPATIENT BASIS. MAJOR SURGERIES INVOLVING OVERNIGHT CARE ARE PERFORMED AT THE LOCAL HOSPITAL. THE TWO STORY BUILDING WILL INCLUDE A STAFF CONFERENCE ROOM ON THE UPPER FLOOR. UTILITY SERVICES INCLUDE PUBLIC SANITARY AND WATER SERVICE. FIRE SUPPRESSION, PRIVATE STORM WATER AND UNDERGROUND DETENTION SYSTEM, AND GEOTHERMAL HEATING AND COOLING. THE PARKING LOT WILL BE HARD SURFACED WITH ASPHALT AND CONCRETE CURB AND GUTTER. A TRASH ENCLOSURE IS PROPOSED AT THE SOUTHEAST CORNER OF THE SITE.
- SQUARE FOOTAGE**
- 7,130 SQ FT (FIRST FLOOR)  
1,870 SQ FT (SECOND FLOOR)  
9,000 SQ FT TOTAL FLOOR AREA
- PROJECT SCHEDULE:** SEE SHEET C3 FOR ANTICIPATED PROJECT SCHEDULE
- MINIMUM REQUIRED SETBACKS**
- FRONT & STREET SIDE: 25' (MEASURED FROM R.O.W. LINE)  
SIDE SETBACK: 7'  
REAR SETBACK: 25'  
PARKING SETBACK: 10' FROM STREET AND RESIDENTIAL USE
- PARKING CALCULATIONS**
- REQUIREMENT: 1 SPACE PER 150 SQ FT OF USABLE FLOOR AREA  
CALCULATION: 9,000 X 80% = 7,200 UFA / 150 = 48 SPACES REQUIRED (58 MAX ALLOWED)  
PROVIDED: 57 SPACES PROVIDED (INCLUDES 3 BARRIER FREE SPACES)
- NOTE:** NO VARIANCES ARE REQUIRED FOR THE DEVELOPMENT OF THIS PROJECT

**SIGN NOTES:**

- THE PROPOSED BUSINESS SIGN INDICATED ON THESE DRAWINGS IS SHOWN IN APPROXIMATE SIZE AND LOCATION. UPON RECEIVING SITE PLAN APPROVAL A COMPREHENSIVE SIGN PERMIT APPLICATION WILL BE SUBMITTED FOR REVIEW AND PERMITTING PRIOR TO SIGN PLACEMENT.
- AN ADDRESS SIGN SHALL BE VISIBLE FROM THE ROAD THROUGHOUT CONSTRUCTION AND UNTIL A PERMANENT ADDRESS MARKER IS PLACED. THE ADDRESS MARKER WILL BE INCORPORATED INTO THE SIGN PERMIT PACKAGE THAT WILL BE SUBMITTED FOR REVIEW AND PERMITTING.
- NO PARKING FIRE LANE SIGN DETAIL:



U:\Projects\837210-837210\_04\_06\_2020\837210\_04\_06\_2020\_Site.dwg - printed on 4/6/2020 5:09 PM



**EXISTING FEATURES LEGEND**

	TREE (DECIDUOUS)		GAS METER		BENCHMARK
	TREE (CONIFEROUS)		AC UNIT		FOUND IRON ROD OR PIPE
	BUSH		GUARD POST		WATERMAIN
	STUMP		ELEC. RISER/TRANSFORMER		SANITARY SEWER
	MANHOLE		ELECTRICAL MANHOLE		STORM SEWER
	SANITARY CLEANOUT		CABLE BOX		GAS
	RD. CATCH BASIN		TELEPHONE RISER		TELEPHONE
	SQ. CATCH BASIN		TELEPHONE MANHOLE		ELECTRIC
	FIRE HYDRANT		POWER POLE		OVERHEAD LINES
	WATER VALVE		LIGHT POLE		CABLE T.V.
	CURB STOP & BOX		SPRINKLER VALVE		FIBER OPTICS
	WATER MANHOLE		GUY ANCHOR		FENCE
	MAILBOX		SIGN		

NOTE: ALL ITEMS LISTED ON THE LEGEND MAY NOT BE PRESENT ON DRAWING.

**REMOVAL LEGEND**

	PAVEMENT / SIDEWALK REMOVAL
	CURB/STRUCTURE / PIPELINE TO BE REMOVED
	REMOVAL ITEM
	TREE PROTECTION FENCING

**BENCHMARKS**

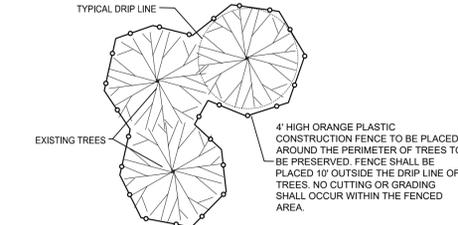
BM#1 EL. 531.87  
 NAIL / TAG IN SOUTH WEST FACE OF POWER POLE, EAST LINE OF EASTMAN AVENUE (NAVD 88)

**GENERAL NOTES:**

- 1) THE LOCATION OF UTILITIES DEPICTED ON THIS DRAWING WERE DETERMINED FROM ON-SITE OBSERVATION AND AVAILABLE RECORDS AS PROVIDED BY THE UTILITY OWNERS. FLEIS & VANDENBRINK ENGINEERING, INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF THE LOCATIONS AS SHOWN AND DOES NOT MAKE ANY ASSURANCES THAT THE UTILITY OWNERS HAVE PROVIDED US ALL RELEVANT INFORMATION PERTAINING TO THIS SITE.
- 2) FLEIS & VANDENBRINK ENGINEERING, INC. WAS NOT ASKED TO REVIEW THIS PROJECT FOR ENVIRONMENTAL CONCERNS.
- 3) FLEIS & VANDENBRINK ENGINEERING, INC. HAS NOT REVIEWED THIS PROJECT FOR SOIL CONTENT. WE SUGGEST THE OWNER CONTACT A SOILS ENGINEER WITH REGARD TO THE SOIL CONDITIONS. SOIL BEARING SUPPORT FOR THE FOUNDATION AND SLAB WORK SHALL BE TESTED BY AN INDEPENDENT TESTING SERVICE, LICENSED TO PROVIDE SUCH SERVICE, PRIOR TO PLACING SUCH FOUNDATION AND SLAB WORK. TESTING IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 4) THERE ARE NO WETLANDS WITHIN THE PROJECT LIMITS AS INDICATED ON THE NATIONAL WETLAND INVENTORY MAP. THERE ARE NO FLOODPLAINS LOCATED WITHIN THE PROJECT LIMITS AS INDICATED ON THE FEMA FLOODPLAIN MAPS.
- 5) THE PROPERTY DESCRIPTION AND EASEMENTS DEPICTED ON THIS SITE PLAN WERE PROVIDED BY THE OWNER AND AVAILABLE RECORDS.
- 6) THE TOPOGRAPHIC INFORMATION SHOWN WAS TAKEN FROM THE TOPOGRAPHIC SURVEY COMPLETED BY FLEIS & VANDENBRINK ENGINEERING, INC. JANUARY 17, 2019. SOME INFORMATION SHOWN OUTSIDE THE PROJECT BOUNDARY MAY BE SHOWN FROM AVAILABLE RECORDS AND AERIAL PHOTOGRAPHY.
- 7) THE PROPERTY BOUNDARY AND DESCRIPTION WAS TAKEN FROM THE SURVEY BY AYRES ASSOCIATES DATED JAN 5, 2000. EASEMENTS DEPICTED ON THIS DRAWING WERE TAKEN FROM THE ALTA COMMITMENT FOR TITLE INSURANCE (LB107105) BY LIBERTY TITLE AGENCY DATED 08-01-16.

**DEMOLITION NOTES:**

- 1) PRIOR TO BEGINNING ANY OF THIS WORK THE CONTRACTOR SHALL NOTIFY THE CITY OF MIDLAND DPW DEPARTMENT AND FILL OUT THE NECESSARY FORMS OR PERMITS.
- 2) THE CONTRACTOR SHALL FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES AND OTHER SITE FEATURES PRIOR TO DEMOLITION, AND REPORT ANY DISCREPANCIES. BEFORE CONSTRUCTION OF ANY SUBSURFACE WORK CONTACT MISS DIG FOR CONFIRMATION OF UTILITY LOCATIONS AND EXERCISE CAUTION. TELECOMMUNICATIONS, ELECTRIC, SECURITY, IRRIGATION AND OTHER UNDERGROUND UTILITIES ARE SHOWN BASED ON OBSERVABLE EVIDENCE AND RECORDS PROVIDED BY UTILITY OWNERS.
- 3) ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES. ALL DEMOLITION OPERATIONS SHALL COMPLY WITH MIOSHA REGULATIONS INsofar AS THEY APPLY TO THE REQUIRED WORK. A SOIL EROSION CONTROL PERMIT WILL BE REQUIRED PRIOR TO DEMOLITION.
- 4) THE CONTRACTOR SHALL REMOVE AND CLEAR ALL TREES, BRUSH, SIDEWALK, CURB, AND ASPHALT AS SHOWN ON THE PLANS OR AS DIRECTED BY THE CONSTRUCTION ENGINEER. SEE TREE PROTECTION FENCING LOCATION AND DETAIL ON THIS SHEET. FENCE TO BE PLACED PRIOR TO DEMOLITION.
- 5) ALL DEMOLITION MATERIAL SHALL BE PROPERLY REMOVED FROM THE SITE AND DISPOSED OF IN A LEGALLY DESIGNATED DISPOSAL AREA. NO ON-SITE BURNING WILL BE ALLOWED WITHOUT PROPER PERMISSION. PERMITS AND FEES FOR DISPOSAL OF DEMOLITION MATERIAL SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR.
- 6) THE CONTRACTOR SHALL REMOVE ANY ITEMS THAT MAY BE FOUND FROM EXISTING BUILDINGS IN THERE ENTIRETY INCLUDING WALLS, FOUNDATIONS AND FOOTINGS. ALL BUILDING DRAINS AND UTILITY LEADS SHALL BE LOCATED AND PROPERLY PLUGGED. UTILITY LEAD WORK SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANIES.
- 7) BACKFILL EXCAVATED AREAS WITH CLEAN GRANULAR FILL COMPACTED TO NINETY-FIVE PERCENT (95%) OF THE MATERIAL UNIT WEIGHT BY MODIFIED PROCTOR.
- 8) AT THE CONCLUSION OF THE DEMOLITION OPERATIONS, THE ENTIRE WORK AREA SHALL BE LEFT IN A CLEAN CONDITION WITH ANY PROTECTIVE DEVICES AND BARRIERS REMOVED. ALL EXPOSED AREAS SHALL BE SUITABLY TOPSOILED, SEEDED AND MULCHED.



**EXISTING TREE PROTECTION DETAIL**  
 NOT TO SCALE



Know what's below.  
 Call before you dig.

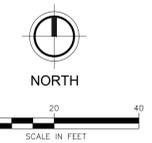
**NOT FOR CONSTRUCTION**



U:\Projects\837210-838000\837210\_C2-EXIST.dwg - plotted on 4/6/2020 4:24 PM

**SESC LEGEND**

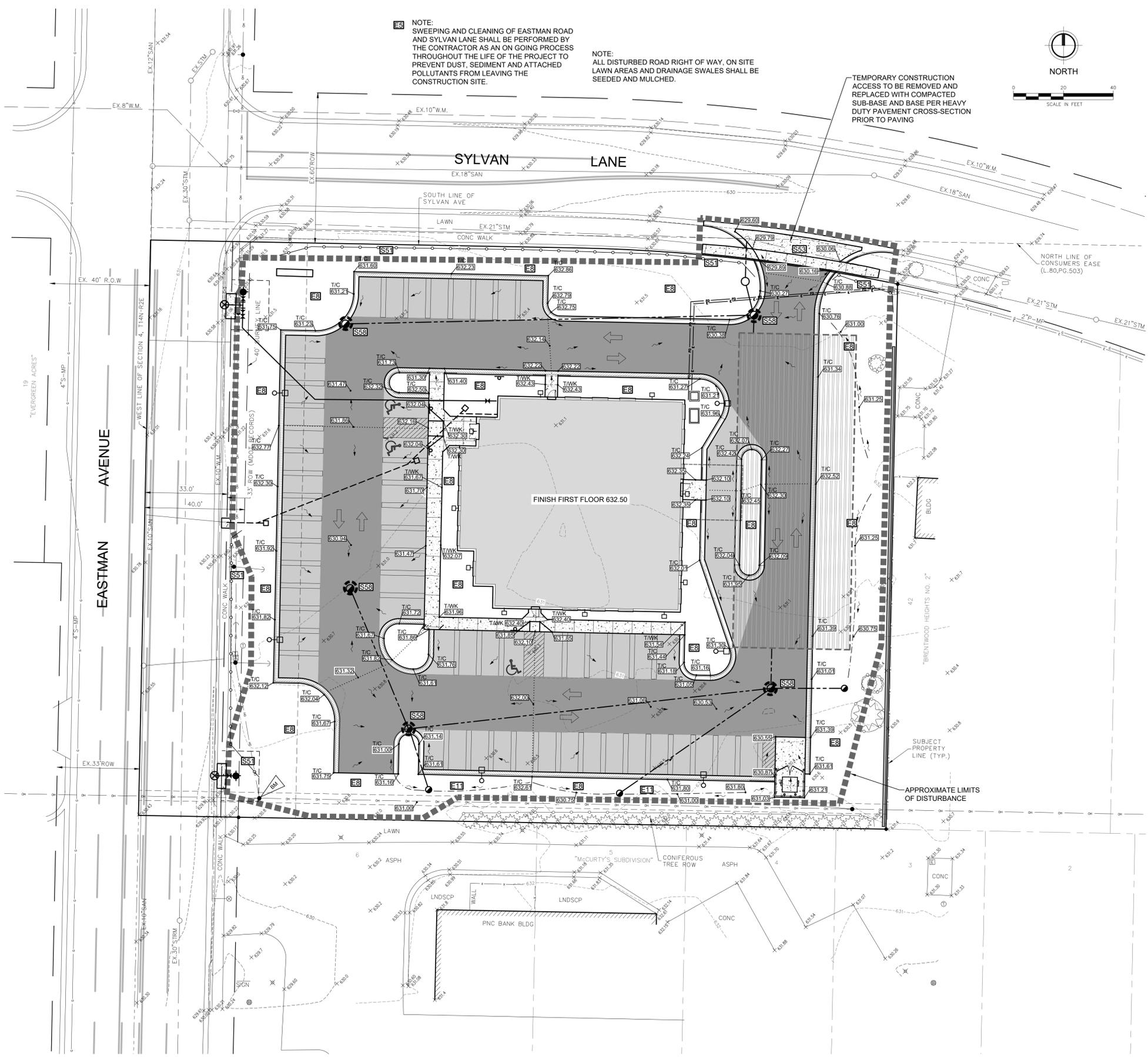
- APPROXIMATE LIMITS OF DISTURBANCE
- SILT FENCE
- SESC KEY NUMBER
- INLET FILTER
- SURFACE FLOW ARROWS
- PAVEMENT OR GRADE ELEV
- TOP OF CURB ELEV
- TOP OF WALK ELEV
- CATCHBASIN
- STORM SEWER
- DRAINAGE SWALE



**NOTE:**  
SWEEPING AND CLEANING OF EASTMAN ROAD AND SYLVAN LANE SHALL BE PERFORMED BY THE CONTRACTOR AS AN ON GOING PROCESS THROUGHOUT THE LIFE OF THE PROJECT TO PREVENT DUST, SEDIMENT AND ATTACHED POLLUTANTS FROM LEAVING THE CONSTRUCTION SITE.

**NOTE:**  
ALL DISTURBED ROAD RIGHT OF WAY, ON SITE LAWN AREAS AND DRAINAGE SWALES SHALL BE SEEDED AND MULCHED.

TEMPORARY CONSTRUCTION ACCESS TO BE REMOVED AND REPLACED WITH COMPACTED SUB-BASE AND BASE PER HEAVY DUTY PAVEMENT CROSS-SECTION PRIOR TO PAVING



**MICHIGAN DEPARTMENT OF MANAGEMENT AND BUDGET  
S-E-S-C KEYING SYSTEM**

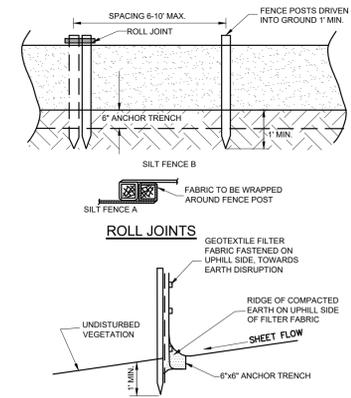
KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
E5	DUST CONTROL		For use on construction sites, unpaved roads, etc. to reduce dust and sedimentation from wind and construction activities.
E8	PERMANENT SEEDING		Stabilization method utilized on sites where earth change has been completed (final grading attained).
E11	VEGETATED CHANNELS		For use in created stormwater channels. Vegetation is used to slow water velocity and reduce erosion within the channel.
S51	SILT FENCE		Use adjacent to critical areas, to prevent sediment laden sheet flow from entering these areas.
S53	STABILIZED CONSTRUCTION ACCESS		Used at every point where construction traffic enters or leaves a construction site.
S58	INLET PROTECTION FABRIC DROP		Use at stormwater inlets, especially at construction sites.

CONSTRUCTION SEQUENCE	2020/2021 OPERATION SEQUENCE/TIME SCHEDULE												
	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	
1 STAKE IMPROVEMENTS AND INSTALL TEMP. CONTROL MEASURES													
2 ROUGH GRADE-DEMOLITION													
3 MAINTAIN TEMP. CONTROL MEASURES (DAILY)													
4 STORM FACILITIES													
5 UNDERGROUND UTILITIES													
6 FOUNDATION/ BLDG. CONSTRUCTION													
7 SITE CONSTRUCTION / PAVING													
8 PERM CONTROL MEASURES													
9 FINISH GRADING													
10 LANDSCAPING													
11 REMOVE TEMPORARY CONTROL MEASURES													

**NOTE**  
SEE LANDSCAPE PLAN FOR PERMANENT STABILIZATION

**MAINTENANCE PROGRAM FOR PERMANENT SESC MEASURES**

- UPON COMPLETION OF CONSTRUCTION THE FOLLOWING ITEMS SHALL BE PERFORMED
- ALL LAWN AREAS AND LANDSCAPING ARE TO BE PROPERLY IRRIGATED AND MAINTAINED ON A WEEKLY BASIS.
  - ALL LANDSCAPING SHALL BE KEPT FREE OF DEBRIS.
  - STORM SEWER INLETS ARE TO BE INSPECTED WEEKLY. ANY DEBRIS COVERING INLETS SHALL BE REMOVED IMMEDIATELY.
  - INLETS ARE TO BE CLEANED ON AN ANNUAL BASIS BY A REPUTABLE SEWER CLEANING SERVICE. AQUA SHIELD TREATMENT STRUCTURE TO BE INSPECTED ON A BI-MONTHLY BASIS AND CLEANED ACCORDING TO MANUFACTURER SPECIFICATIONS.
  - PAVEMENT AND CURB AND GUTTERS ARE TO BE SWEEPED ON A REGULAR BASIS TO AVOID SEDIMENT BUILD UP IN CURB GUTTERS THAT COULD PREVENT POSITIVE FLOW OF SURFACE WATER.

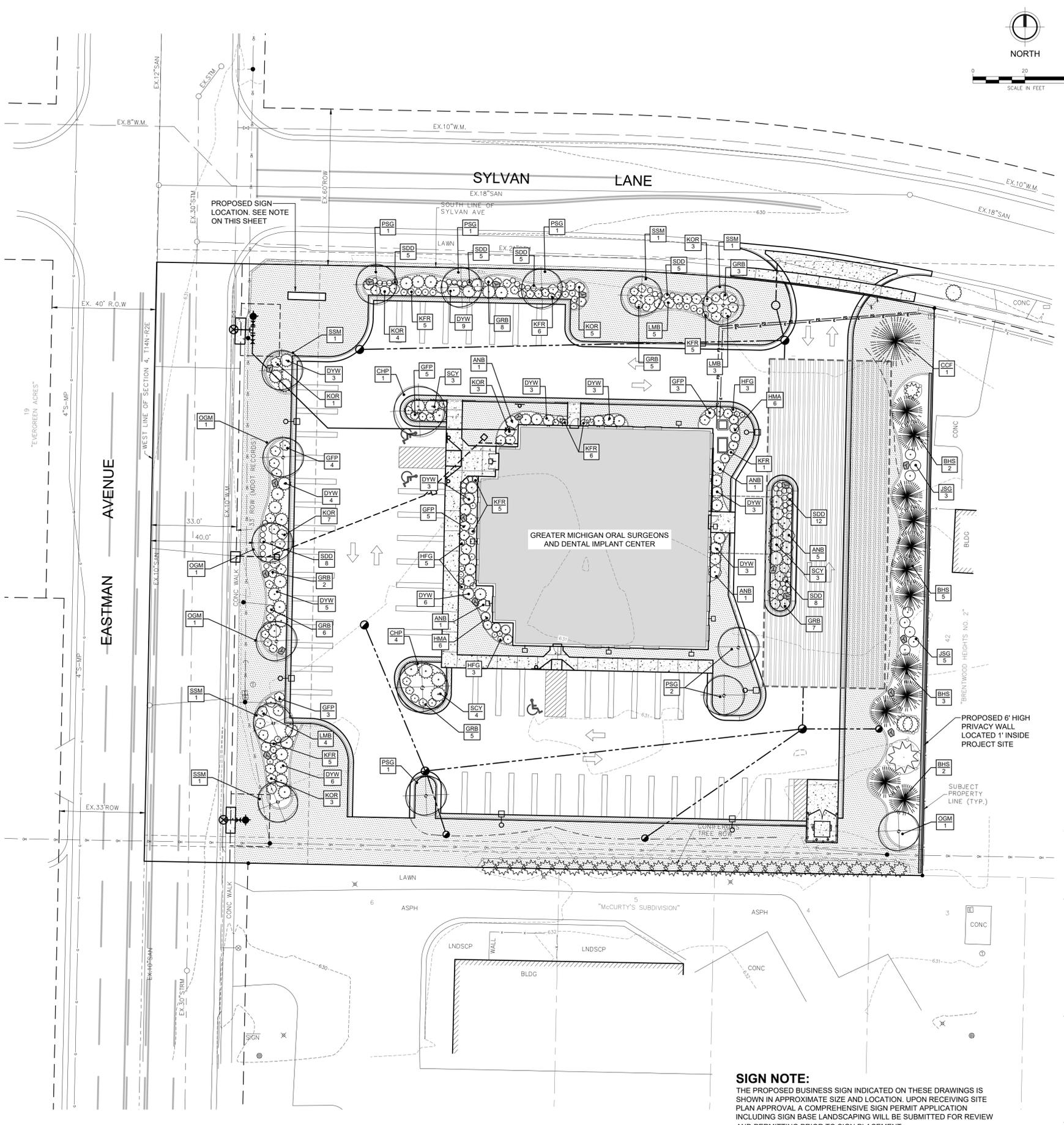


**SILT FENCE DETAIL** S1  
NOT TO SCALE

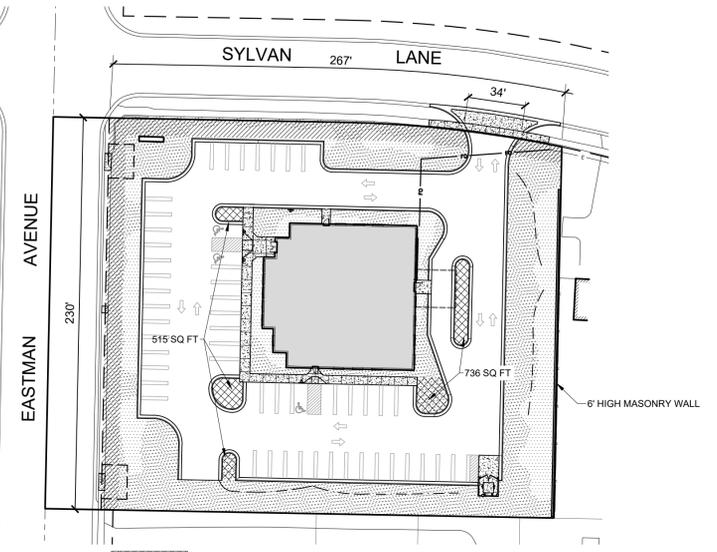
**811**  
Know what's below.  
Call before you dig.

U:\Projects\837210-837210\_04\_06\_Surveys - Midland\Cad\Plan\837210\_C3-SESC.dwg - plotted on 4/16/2020 5:16 PM





**SIGN NOTE:**  
THE PROPOSED BUSINESS SIGN INDICATED ON THESE DRAWINGS IS SHOWN IN APPROXIMATE SIZE AND LOCATION. UPON RECEIVING SITE PLAN APPROVAL A COMPREHENSIVE SIGN PERMIT APPLICATION INCLUDING SIGN BASE LANDSCAPING WILL BE SUBMITTED FOR REVIEW AND PERMITTING PRIOR TO SIGN PLACEMENT.



**LANDSCAPE CALCULATION AREA SKETCH**  
NOT TO SCALE

**LANDSCAPE CALCULATIONS:**

- 1) PARKING LOT LANDSCAPE AREA:**  
REQUIREMENT: 20 SQ FT OF LANDSCAPE AREA PER PARKING SPACE  
CALCULATION: 57 SPACES X 20 = 1,140 SQ FT MINIMUM AREA REQUIRED  
**PROVIDED: 1,251 SQ FT**
- 2) PARKING LOT LANDSCAPE PLANTINGS:**  
REQUIREMENT: 1 TREE PER 300 SQ FT OF AREA + 1 SHRUB PER 75 SQ FT OF AREA  
CALCULATION: 1,251 / 300 = 4.17 = 5 TREES + 1,251 / 75 = 16.68 = 17 SHRUBS  
**PROVIDED: 5 TREES AND 17 SHRUBS**
- 3) LANDSCAPE AREA ADJACENT TO ROADS:**  
REQUIREMENT: 1 TREE + 8 SHRUBS PER 40 LF OF ROAD FRONTAGE  
CALCULATION: EASTMAN RD: 230 LF / 40 = 6 TREES + 230 / 40 X 8 = 46 SHRUBS  
SYLVAN LANE: 267 LF - 34 LF = 233 / 40 = 6 TREES + 233 / 40 X 8 = 47 SHRUBS  
**PROVIDED: EASTMAN = 6 TREES AND 46 SHRUBS  
SYLVAN LANE = 6 TREES AND 47 SHRUBS**
- 4) GENERAL SITE LANDSCAPING:**  
REQUIREMENT: 1 TREE PER 3,000 SQ FT OF UNPAVED OPEN AREA  
CALCULATION: 17,994 SQ FT / 3,000 = 6.00 = 6 TREES  
**PROVIDED: 13 TREES = 4 EXISTING = 17 TOTAL**

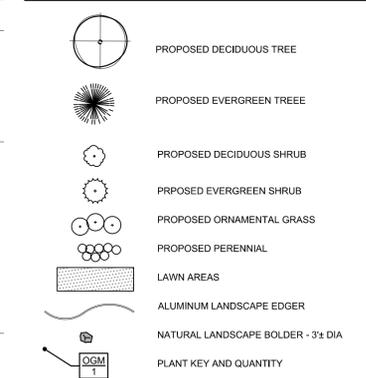
**LANDSCAPE NOTES:**

- ALL LAWN AREAS ARE TO BE SEED. ALL PLANTINGS AND PLANTING BEDS ARE TO RECEIVE AN APPLICATION OF PRE-EMERGENT HERBICIDE AND A 3" LAYER OF HARDWOOD MULCH (UNLESS NOTED OTHERWISE ON THIS PLAN).
- ALL LANDSCAPED AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH LAWN AND LANDSCAPE BEDS IN SEPARATE IRRIGATION ZONES TO MINIMIZE OVER WATERING. ALL PLANTINGS SHALL RECEIVE A MINIMUM OF 1" OF WATER PER WEEK UNTIL HEALTHY GROWTH HAS BEEN ESTABLISHED.
- PLANT MATERIALS, QUANTITIES, AND LOCATIONS HAVE BEEN FIGURED AS CLOSELY AS POSSIBLE. HOWEVER, MATERIALS, QUANTITIES, AND LOCATIONS MAY BE ADJUSTED ON SITE IF NECESSARY. IT REMAINS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO COMPLETE THE PROJECT AS INTENDED PER THIS PLAN.
- THE LANDSCAPE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITY FOR A MINIMUM OF ONE YEAR FOR ALL LANDSCAPE MATERIALS ONCE INSTALLED.
- ALL LANDSCAPED AREAS SHALL BE KEPT FREE OF REFUSE AND DEBRIS AND KEPT IN A HEALTHY GROWING CONDITION.
- SELECTION AND INSTALLATION OF PLANT MATERIAL INCLUDING SITE PREPARATION, PLANTING, PRUNING, WATERING AND CULTIVATING SHALL BE IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.

**PROPOSED LANDSCAPE KEY**

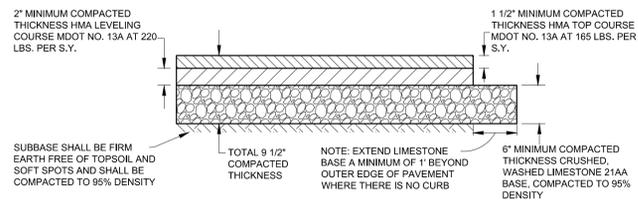
KEY	COMMON NAME	BOTANICAL NAME	MIN. SIZE	
GRASSES & PERENNIALS	HFG	Hameln Fountain Grass	Pennisetum Alopecuroides Hameln	#1 pot
	KFR	Karl Foerster Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	#1 pot
	JSG	Variegated Japanese Silver Grass	Miscanthus sinensis 'Variegatus'	#2 pot
	SDD	Stella de Oro Day Lily	Hemerocallis 'Stella de Oro'	#1 pot
SHRUBS	SCY	Siberian Cypress	Microbiota decussata	24" sprd
	DYW	Gem Box Inkberry	Ilex Glabra 'smnigab17'	18" ht
	HMA	Holmstrup Arborvitae	Thuja Occidentalis 'holmsrup'	4" ht
	LMB	Little Moses Burning Bush	Euprymum Alatus Odom (Little Moses Tom)	18" ht
	ANH	Annabelle Hydrangea	Hydrangea Arborescens 'annabelle'	18" ht
	GFP	Goldfinger Potentilla	Potentilla fruticosa	18" ht
	KOR	Red Double Knock Out Rose	Rosa 'RADtko' PP16202	18" ht
	GRB	Golden Ruby Barberry	Berberis Thumbergii Goruzam Pp16203	12" ht
TREES	OGM	October Glory Maple	Acer rubrum 'October Glory'	2.5' cal
	CHP	Chanticleer Callery Pear	Pyrus calleryana 'Chanticlee'	2.5' cal
	SSM	Steeple Sugar Maple	Acer saccharum 'Steeple'	2.5' cal
	PSG	Princeton Sentry Ginkgo	Ginkgo biloba 'Princeton Sentry'	2.5' cal
	BHS	Black Hills White Spruce	Picea Glauca Densata	8" ht
CCF	Concolor Fir	Abies concolor	8" ht	

**PROPOSED LEGEND**



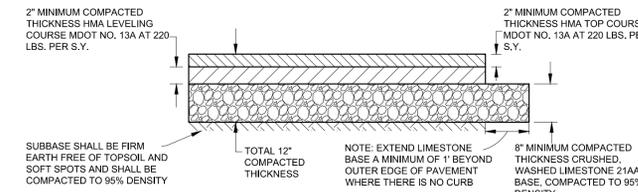
Know what's below.  
Call before you dig.





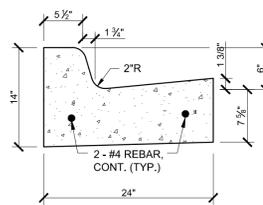
**LIMESTONE BASE WITH HMA SURFACE**

**MEDIUM DUTY PARKING LOT PAVEMENT CROSS SECTION**  
NOT TO SCALE

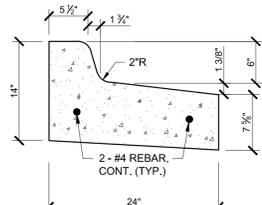


**LIMESTONE BASE WITH HMA SURFACE**

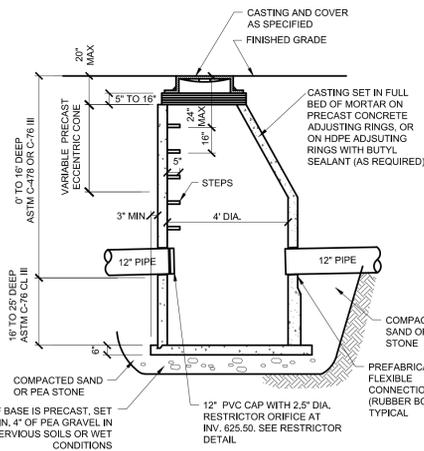
**HEAVY DUTY PARKING LOT PAVEMENT CROSS SECTION**  
NOT TO SCALE



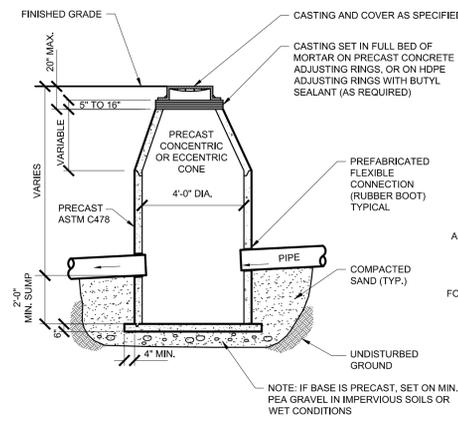
**STANDARD MDOT F4 CONCRETE CURB AND GUTTER**  
NOT TO SCALE



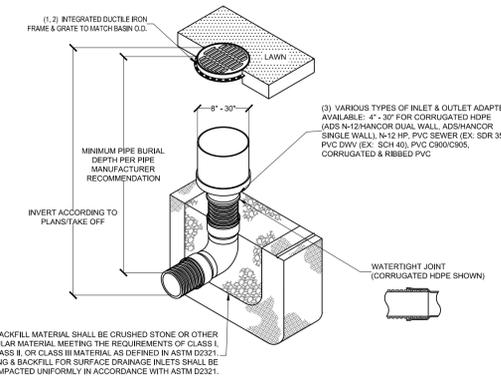
**MODIFIED MDOT F4 CONCRETE CURB AND GUTTER**  
NOT TO SCALE



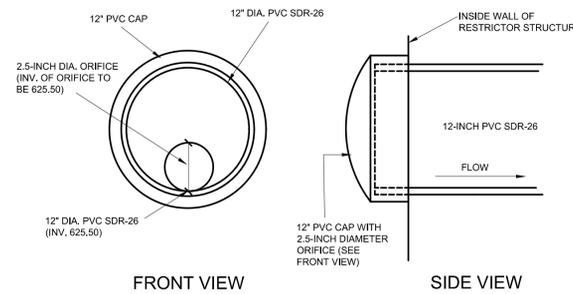
**RESTRICTED OUTLET STRUCTURE**  
NOT TO SCALE



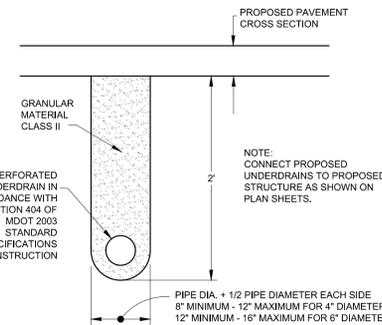
**STANDARD CATCH BASIN**  
NOT TO SCALE



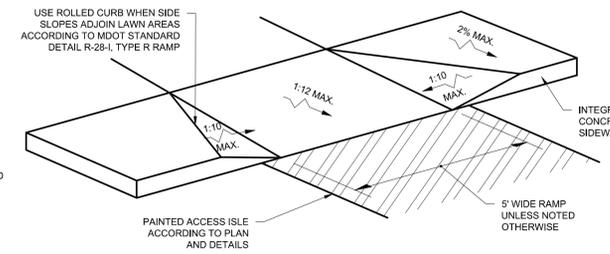
**NYLOPLAST INLINE DRAIN WITH STANDARD GRATE**



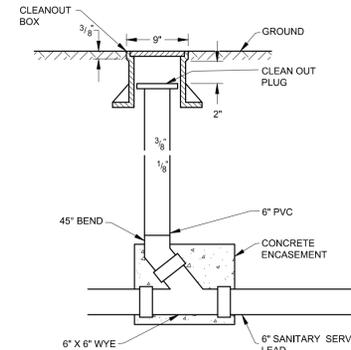
**RESTRICTED OUTLET DETAIL**  
NOT TO SCALE



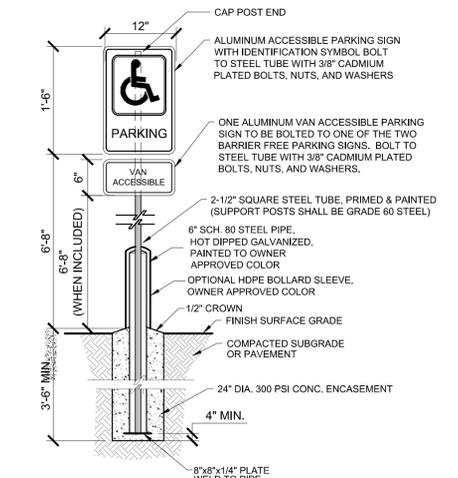
**SUBGRADE UNDERDRAIN (MDOT STANDARD PLAN R-80-D)**  
NOT TO SCALE



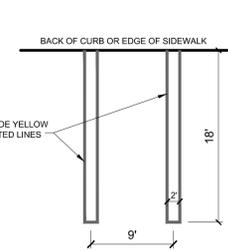
**BARRIER FREE SIDEWALK AND RAMP DETAIL**  
NOT TO SCALE



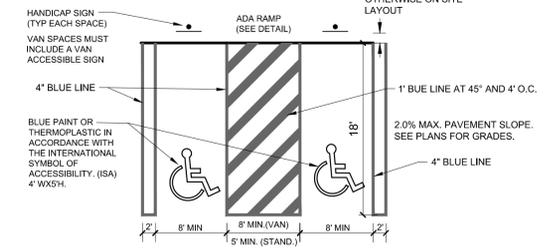
**CLEAN OUT DETAIL**  
NOT TO SCALE



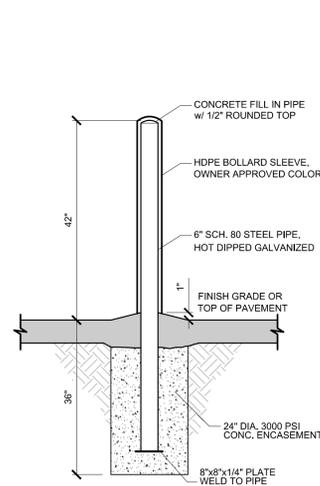
**BARRIER FREE PARKING SIGN IN CONCRETE BOLLARD**  
NOT TO SCALE



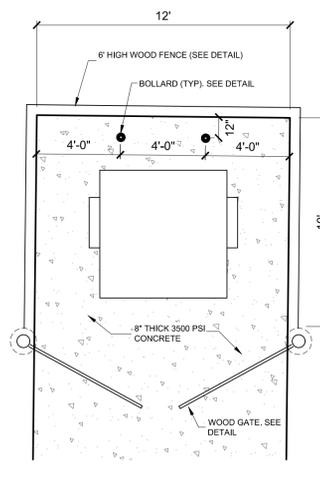
**STANDARD PARKING DETAIL**  
NOT TO SCALE



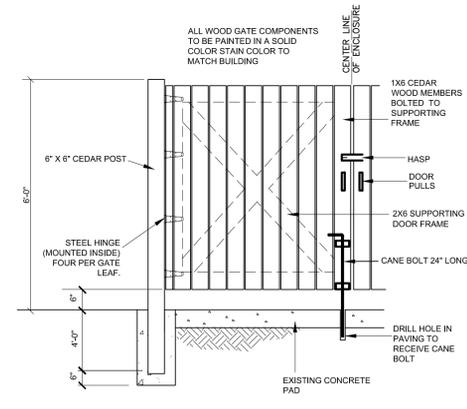
**BARRIER FREE PARKING DETAIL**  
NOT TO SCALE



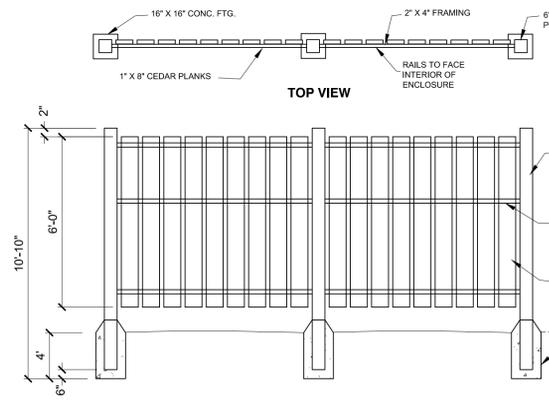
**PIPE BOLLARD DETAIL**  
NOT TO SCALE



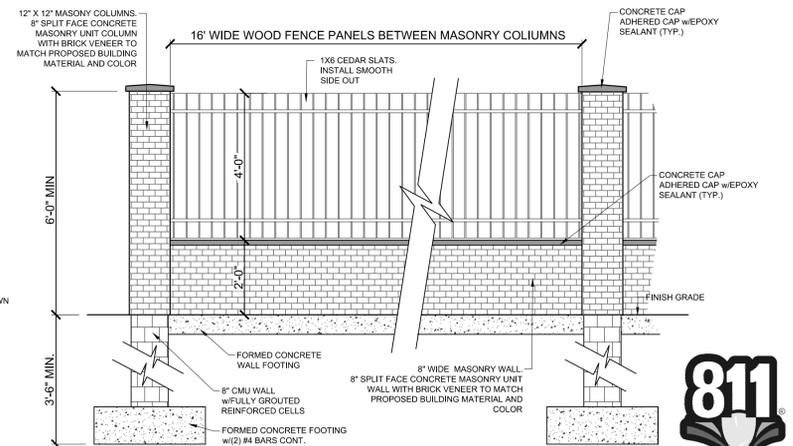
**TRASH ENCLOSURE DETAIL**  
NOT TO SCALE



**WOOD TRASH ENCLOSURE GATE DETAIL**  
NOT TO SCALE



**WOOD FENCE TRASH ENCLOSURE DETAIL**  
NOT TO SCALE



**MASONRY WALL SCREEN DETAIL**  
NOT TO SCALE



Know what's below.  
Call before you dig.

M:\Projects\837210-837210-04\_Oral Surgeons - Midland\CD\837210\_CD\_1-6.3\_DETAILS.dwg - plotted on 4/7/2020 3:10 PM



NEW BUILDING FOR:

# GREATER MICHIGAN ORAL SURGEONS - MIDLAND

5220 EASTMAN AVE MIDLAND, MICHIGAN 48604

## INDEX OF DRAWINGS

GOO1	TITLE SHEET
S101	PRELIMINARY FRAMING PLAN
A101	FLOOR PLAN
A102	FLOOR PLAN
A103	REFLECTED CEILING PLAN
A104	ROOF PLAN
A201	EXTERIOR ELEVATIONS AND BUILDING SECTIONS
A401	ENLARGED PLANS AND DETAILS



## DEVELOPMENT DATA

SITE AREA = 1.36 ACRES  
 SITE ZONING = OFFICE SERVICE  
 1ST FLOOR AREA = 7,354 SQUARE FEET  
 2nd FLOOR AREA = 1,870 SQUARE FEET  
 BUILDING USE =  
 USE = B-1 (BUSINESS)  
 PARKING PER ZONING ORDINANCE =  
 SEE SHEET SITE PLAN FOR PARKING REQUIREMENTS  
 BUILDING CONSTRUCTION TYPE = 3B  
 OCCUPANCY =  
 TOTAL = 9,000 / 100 GROSS = 90 OCCUPANTS

PLUMBING CODE SUMMARY  
 SECTION 403 MINIMUM PLUMBING FACILITIES  
 TABLE 403.1 MINIMUM NUMBER OF PLUMBING FACILITIES

	WATER CLOSET		LAVATORY		DRINKING FOUNTAIN	OTHER
	M	W	M	W		
B (90) 45 M 45 W REQUIRED	1 PER 25 FOR THE FIRST 50 & 1 PER 50 FOR REMAINDER	1 PER 25 FOR THE FIRST 50 & 1 PER 50 FOR REMAINDER	1 PER 40 FOR THE FIRST 80 & 1 PER 80 FOR REMAINDER EXCEEDING 80		1 PER 500	1 SERVICE SINK
	2	2	2	2	2 provided	1



### SITE MAP

NOT TO SCALE

NEW BUILDING FOR:  
**GREATER MICHIGAN  
 ORAL SURGEONS - MIDLAND**  
 5220 EASTMAN AVE MIDLAND, MICHIGAN 48604

ARCHITECTURAL PACKAGE

6		
5		
4		
3		
2		
1		
NO.	REVISIONS / SUBMISSIONS	DATE

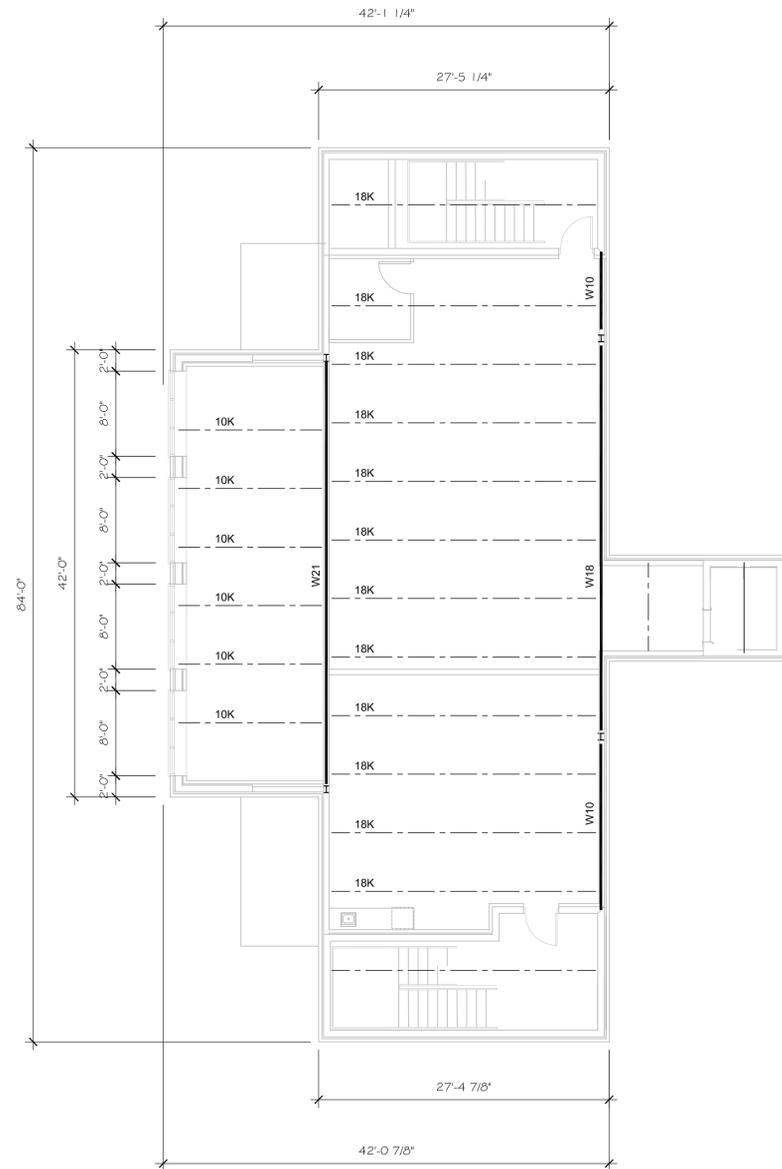
**Fun**CHITECTURE  
 FINDING FUNCTIONAL & CREATIVE DESIGN SOLUTIONS FOR EVERY NEED.

111 east court street suite 3D flint, michigan 48502

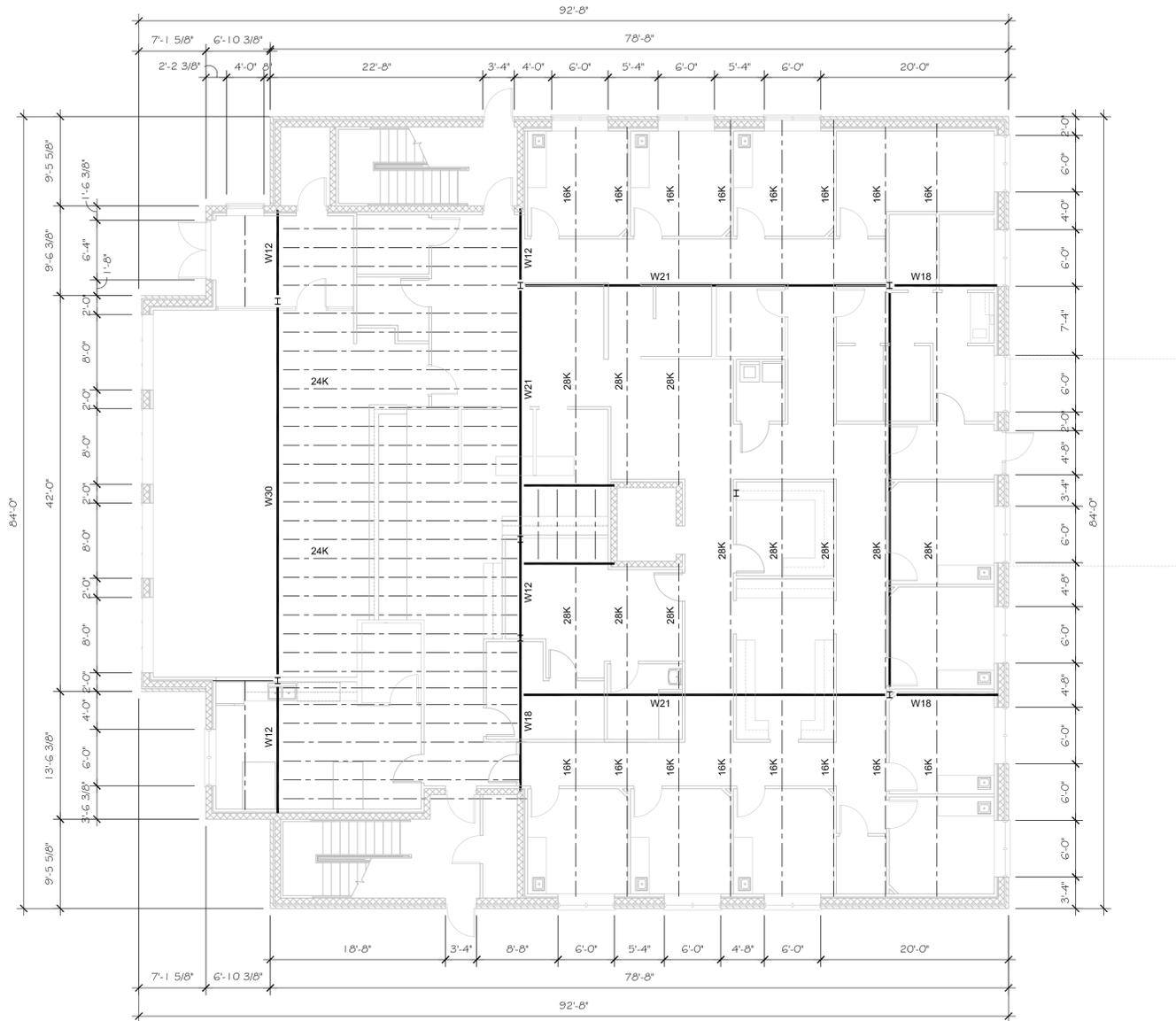
DRAWING TITLE  
 TITLE SHEET

SEAL	DRAWN SEW	PROJECT NO.
	REVIEWED SEW	CAD FILE NO. G001
	DATE 2-8-2018	DRAWING NO. <b>G001</b>
	SCALE NTS	SHEET NO. 1 OF 8

PRELIMINARY 1-16-2020



FLOOR PLAN  
1/4" = 1'-0"



FLOOR PLAN  
1/4" = 1'-0"

GENERAL NOTES

1. FINISH FLOOR ELEVATION = 0.0'
2. COORDINATE ALL WORK WITH MECHANICAL AND ELECTRICAL TRADES. VERIFY EXACT SIZE AND LOCATION OF ALL WALL, FLOOR AND ROOF OPENINGS OF ALL TRADES
3. ALL INTERIOR STUD PARTITIONS ARE 3-5/8" METAL STUDS UNLESS NOTED OTHERWISE.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY TEMPORARY BRACING AND/OR SHORING REQUIRED TO MAINTAIN THE INTEGRITY AND STRUCTURAL STABILITY OF THE BUILDING AND ITS ELEMENTS
5. EXTEND ALL INTERIOR WALLS TO UNDERSIDE OF DECK AND PROVIDE BATT SOUND INSULATION
6. PROVIDE SOUND BATT INSULATION OVER CEILING TILES IN EXAM ROOMS

6		
5		
4		
3		
2		
1		
NO.	REVISIONS / SUBMISSIONS	DATE

PRELIMINARY 1-16-2020

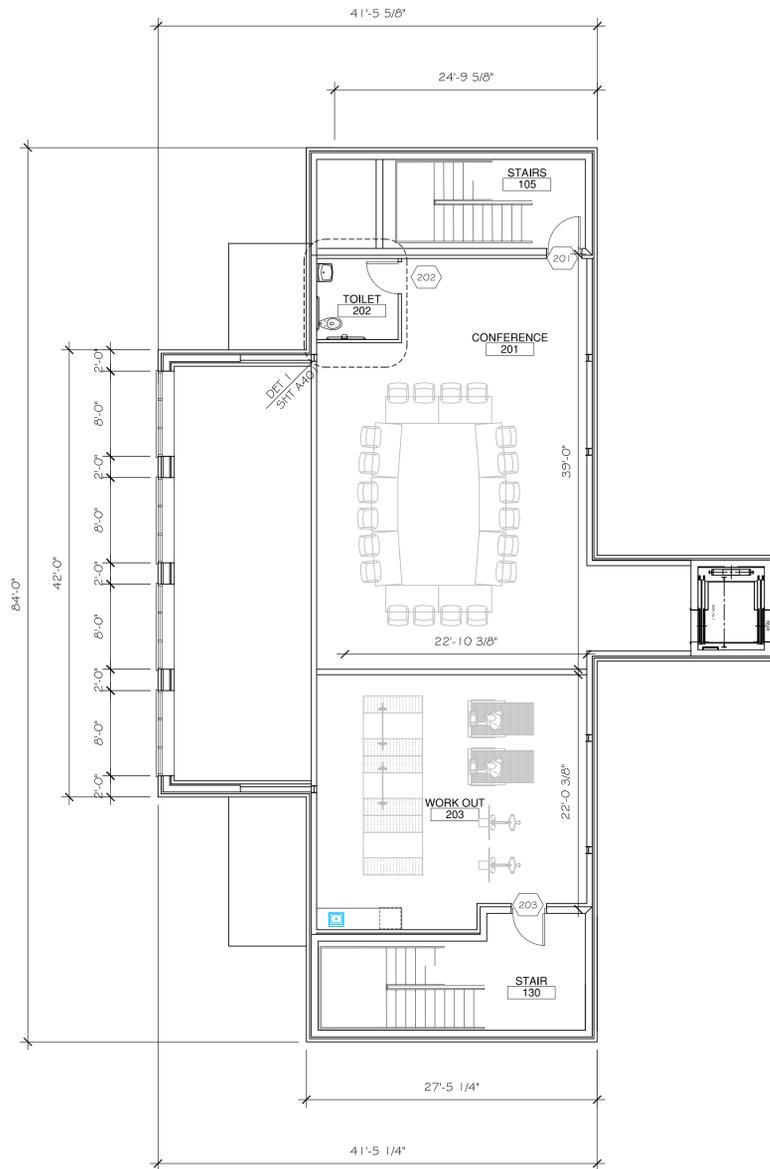
**FUNCTION** CHITECTURE  
Finding FUNCTIONal & creative design solutions for every need

111 east court street suite 3D flint, michigan 48502

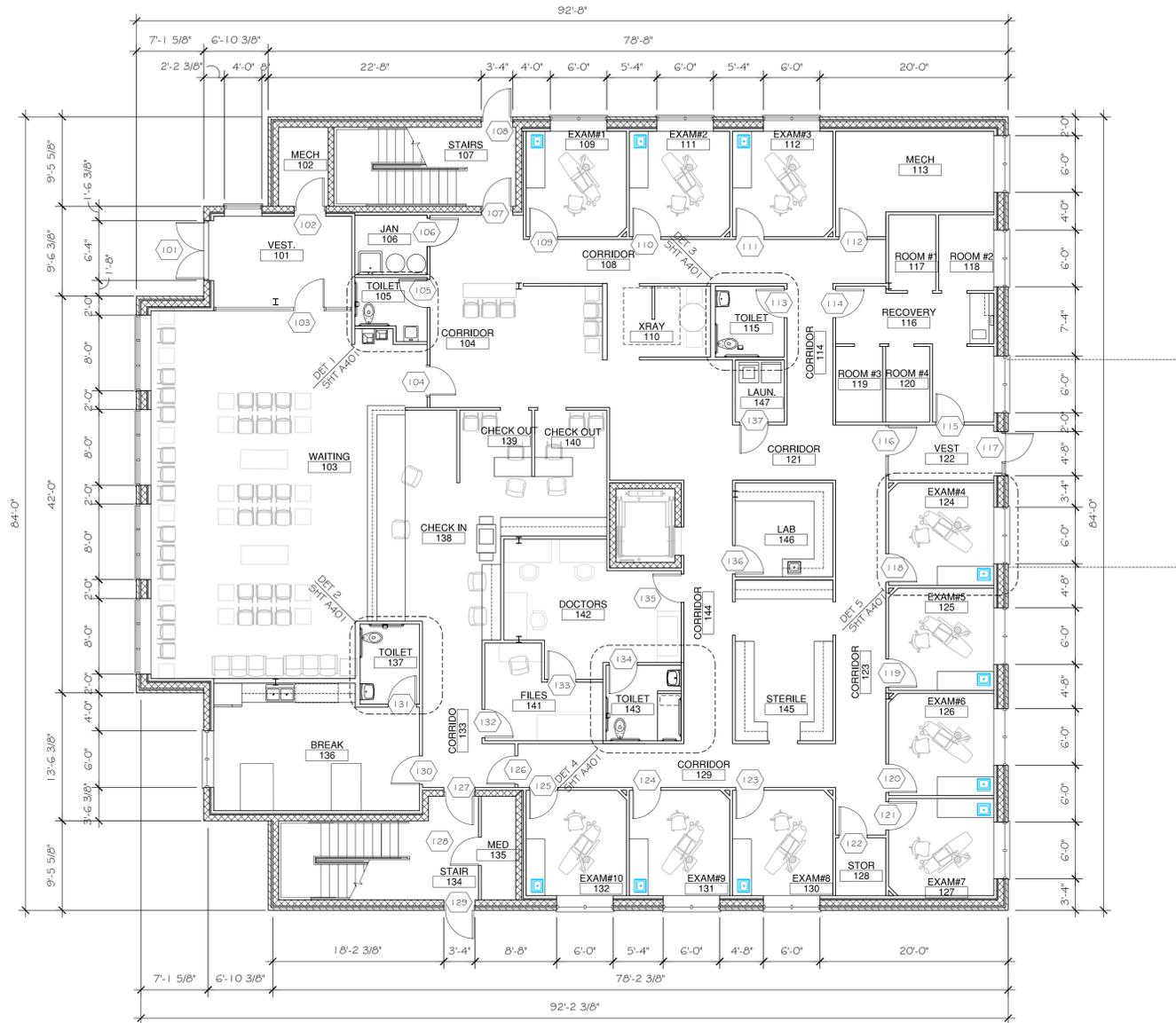
NEW BUILDING FOR:  
GREATER MICHIGAN  
ORAL SURGEONS  
5220 EASTMAN AVE  
MIDLAND, MICHIGAN 48604

DRAWING TITLE  
FRAMING PLAN

SEAL	DRAWN	PROJECT NO.
		CAD FILE NO. A101
	REVIEWED SEW	DRAWING NO. S101
	DATE	SHEET NO. 2 OF
	SCALE	



 FLOOR PLAN  
1/4" = 1'-0"



 FLOOR PLAN  
1/4" = 1'-0"

GENERAL NOTES

1. FINISH FLOOR ELEVATION = 0.0'
2. COORDINATE ALL WORK WITH MECHANICAL AND ELECTRICAL TRADES. VERIFY EXACT SIZE AND LOCATION OF ALL WALL, FLOOR AND ROOF OPENINGS OF ALL TRADES
3. ALL INTERIOR STUD PARTITIONS ARE 3-5/8" METAL STUDS UNLESS NOTED OTHERWISE.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY TEMPORARY BRACING AND/OR SHORING REQUIRED TO MAINTAIN THE INTEGRITY AND STRUCTURAL STABILITY OF THE BUILDING AND ITS ELEMENTS
5. EXTEND ALL INTERIOR WALLS TO UNDERSIDE OF DECK AND PROVIDE BATT SOUND INSULATION
6. PROVIDE SOUND BATT INSULATION OVER CEILING TILES IN EXAM ROOMS

6		
5		
4		
3		
2		
1		
NO.	REVISIONS / SUBMISSIONS	DATE

PRELIMINARY 1-16-2020



111 east court street suite 3D flint, michigan 48502

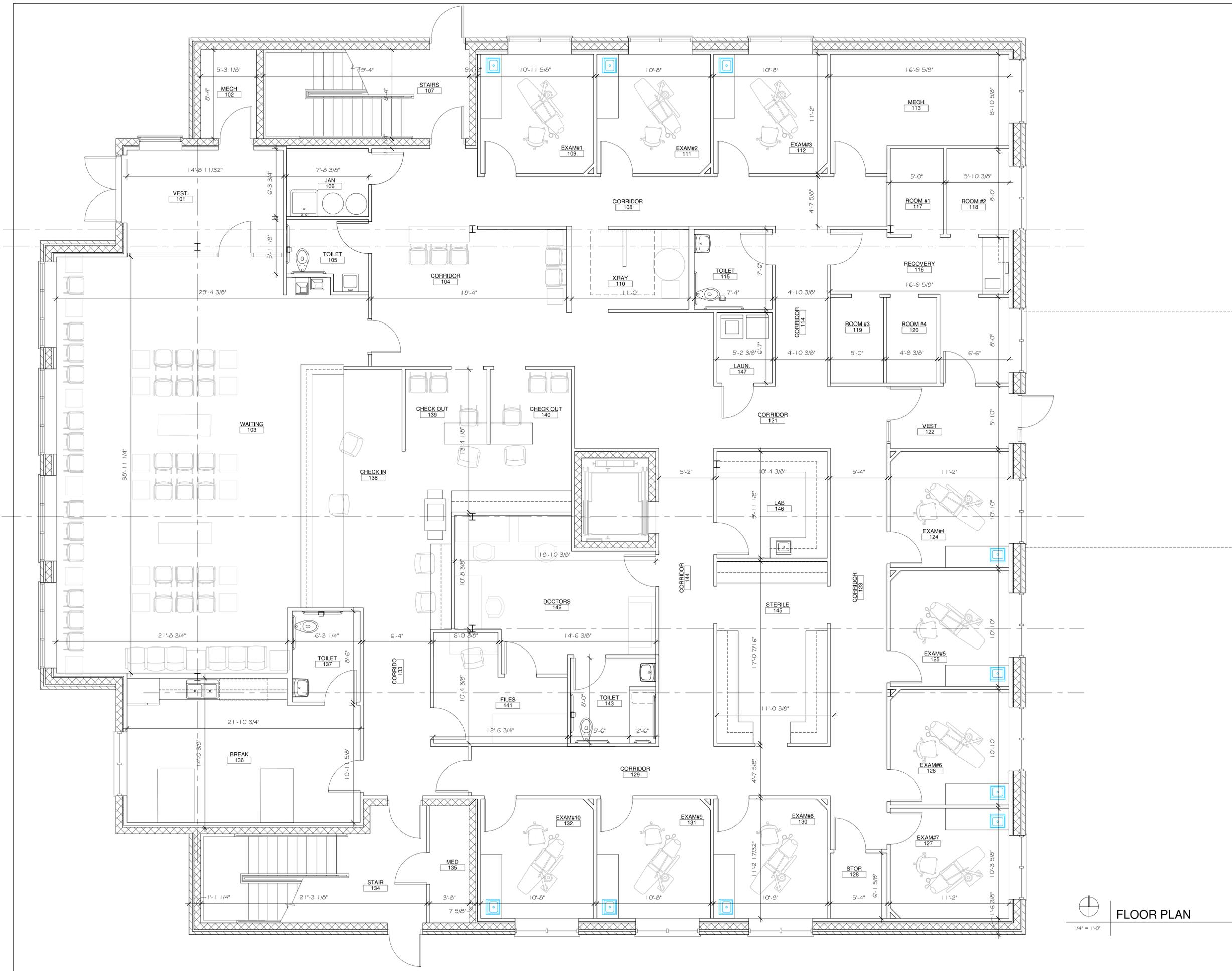
NEW BUILDING FOR:  
GREATER MICHIGAN  
ORAL SURGEONS  
5220 EASTMAN AVE  
MIDLAND, MICHIGAN 48604

DRAWING TITLE  
FLOOR PLAN

SEAL	DRAWN	PROJECT NO.
		CAD FILE NO. A101
	REVIEWED SEW	DRAWING NO.
	DATE	A101
	SCALE	SHEET NO. 2 OF

GENERAL NOTES

1. FINISH FLOOR ELEVATION = 0.0'
2. COORDINATE ALL WORK WITH MECHANICAL AND ELECTRICAL TRADES. VERIFY EXACT SIZE AND LOCATION OF ALL WALL, FLOOR AND ROOF OPENINGS OF ALL TRADES
3. ALL INTERIOR STUD PARTITIONS ARE 3-5/8" METAL STUDS UNLESS NOTED OTHERWISE.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY TEMPORARY BRACING AND/OR SHORING REQUIRED TO MAINTAIN THE INTEGRITY AND STRUCTURAL STABILITY OF THE BUILDING AND ITS ELEMENTS
5. EXTEND ALL INTERIOR WALLS TO UNDERSIDE OF DECK AND PROVIDE BATT SOUND INSULATION
6. PROVIDE SOUND BATT INSULATION OVER CEILING TILES IN EXAM ROOMS



6		
5		
4		
3		
2		
1	ISSUED FOR PERMITS	1-26-2018
NO.	REVISIONS / SUBMISSIONS	DATE

PRELIMINARY 1-16-2020

**FUNCTION** CHITECTURE  
Finding FUNCTIONal & creative design solutions for every need

111 east court street suite 3D flint, michigan 48502

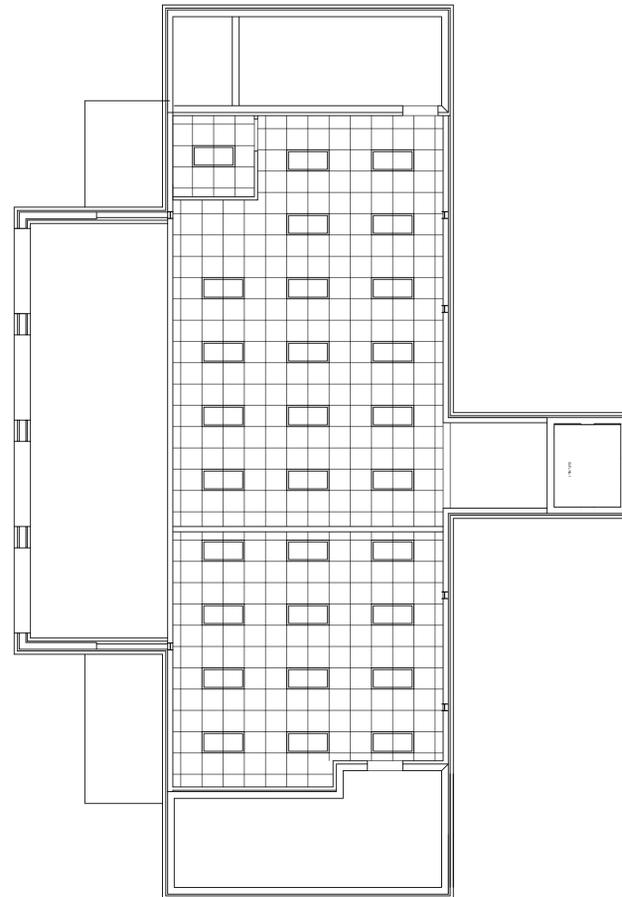
NEW BUILDING FOR:  
**GREATER MICHIGAN  
ORAL SURGEONS**  
5220 EASTMAN AVE  
MIDLAND, MICHIGAN 48604

DRAWING TITLE

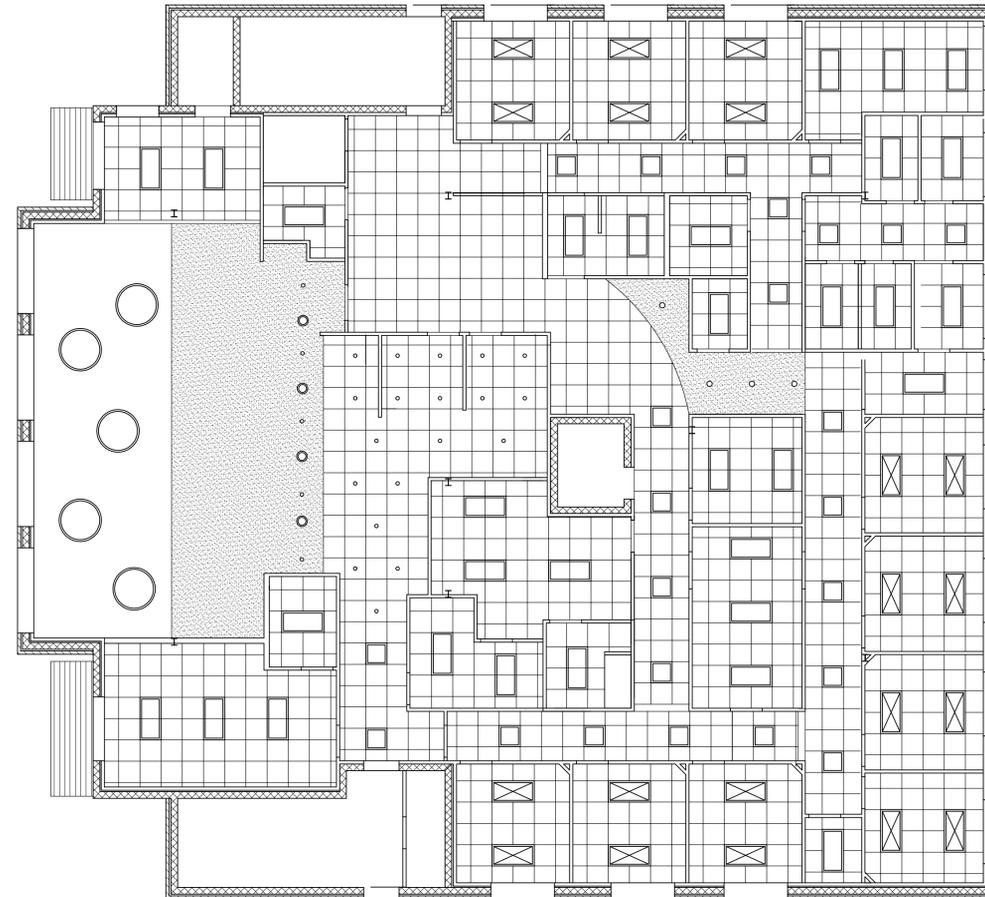
FLOOR PLAN

SEAL	DRAWN	PROJECT NO.
		CAD FILE NO. A101
	REVIEWED	DRAWING NO.
	SEW	A101
	DATE	SHEET NO.
		4 OF
	SCALE	

1/4" = 1'-0"  
FLOOR PLAN



REFLECTED  
CEILING PLAN  
1/8" = 1'-0"



REFLECTED  
CEILING PLAN  
1/8" = 1'-0"

GENERAL NOTES

1. FINISH FLOOR ELEVATION = 0.0'
2. ALL DIMENSIONS ARE TO FACE OF STUD OR MASONRY OR CENTERLINE OF STEEL UNLESS NOTED OTHERWISE
3. COORDINATE ALL WORK WITH MECHANICAL AND ELECTRICAL TRADES. VERIFY EXACT SIZE AND LOCATION OF ALL WALL, FLOOR AND ROOF OPENINGS OF ALL TRADES
4. ALL INTERIOR STUD PARTITIONS ARE 3-5/8" METAL STUDS UNLESS NOTED OTHERWISE.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY TEMPORARY BRACING AND/OR SHORING REQUIRED TO MAINTAIN THE INTEGRITY AND STRUCTURAL STABILITY OF THE BUILDING AND ITS ELEMENTS

**NOTE:**  
EXTEND ALL STUD WALLS TO UNDERSIDE OF ROOF DECK AND PROVIDE SOUND INSULATION  
PROVIDE BATT SOUND INSULATION ABOVE ACOUSTIC TILE CEILING IN EXAM ROOMS

LEGEND

- A 2x4 LED RECESSED LBLT4 60L ADP LP840
- B 2x4 LED RECESSED 2BLT4 40L ADP L840
- C 2x2 LED RECESSED 2BLT2 40L ADP LP840
- D RECESSED CAN LIGHT LDN40/20 LD4AR LD
- G 48" RING LED UDC4
- E LED PENDANT SARGP
- 2x2 ACOUSTIC TILE CEILING 9'-6" CEILING HEIGHT TYPICAL
- PAINTED GYP BD CEILING

6		
5		
4		
3		
2		
1	ISSUED FOR PERMITS	1-26-2018
NO.	REVISIONS / SUBMISSIONS	DATE

PRELIMINARY 1-16-2020

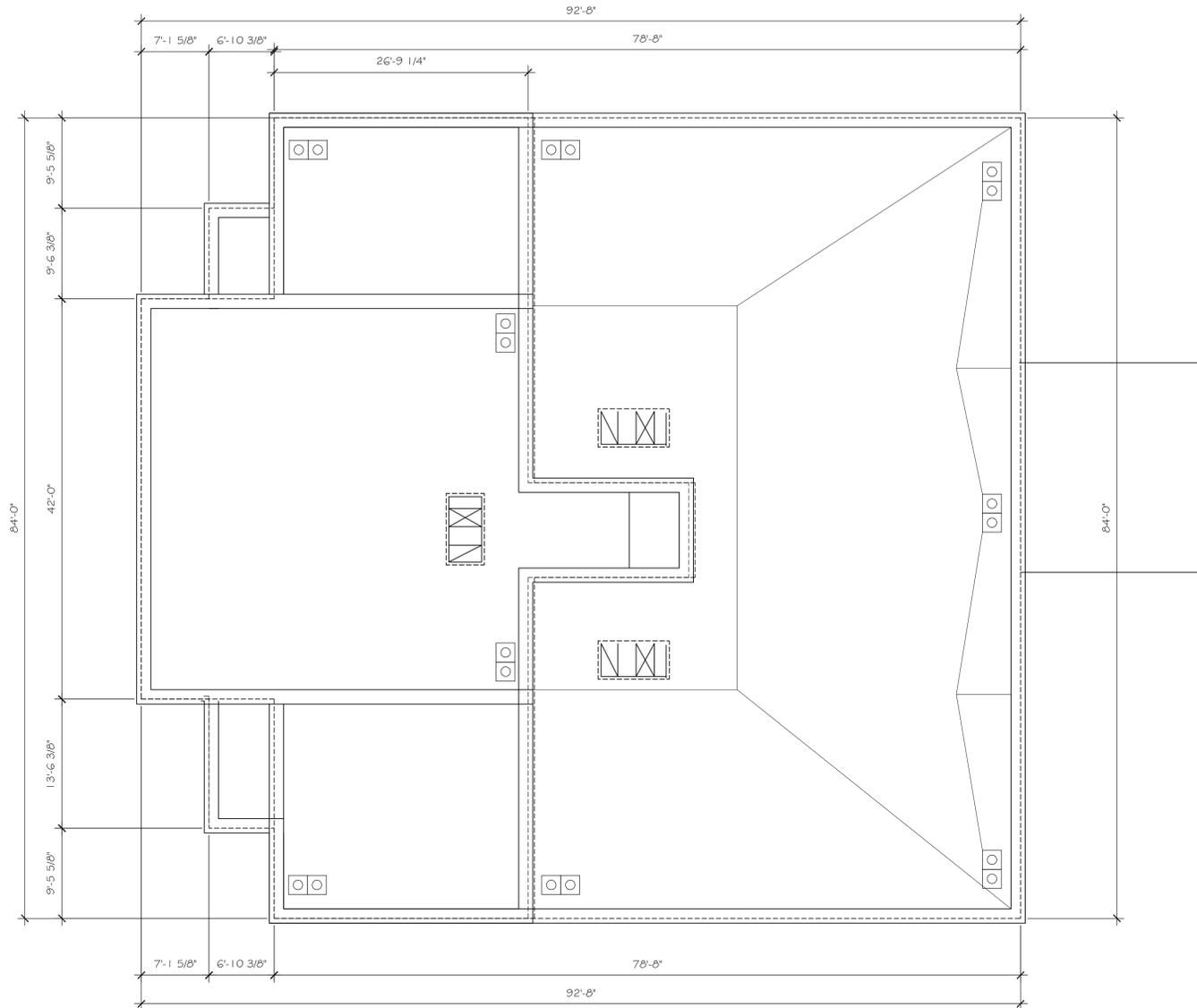
**FUN**CHITECTURE  
Finding FUNctional & creative design solutions for every need

111 east court street suite 3D flint, michigan 48502

NEW BUILDING FOR:  
GREATER MICHIGAN  
ORAL SURGEONS  
5220 EASTMAN AVE  
MIDLAND, MICHIGAN 48604

DRAWING TITLE  
REFLECTED CEILING PLAN  
AND CUT SHEETS

SEAL	DRAWN	PROJECT NO.
		CAD FILE NO. A101
	REVIEWED SEW	DRAWING NO. A103
	DATE	SHEET NO. 5 OF
	SCALE	




**ROOF PLAN**  
 1/4" = 1'-0"

**GENERAL NOTES**

1. FINISH FLOOR ELEVATION = 0.0'
2. COORDINATE ALL WORK WITH MECHANICAL AND ELECTRICAL TRADES. VERIFY EXACT SIZE AND LOCATION OF ALL WALL, FLOOR AND ROOF OPENINGS OF ALL TRADES
3. ALL INTERIOR STUD PARTITIONS ARE 3-5/8" METAL STUDS UNLESS NOTED OTHERWISE.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY TEMPORARY BRACING AND/OR SHORING REQUIRED TO MAINTAIN THE INTEGRITY AND STRUCTURAL STABILITY OF THE BUILDING AND ITS ELEMENTS
5. EXTEND ALL INTERIOR WALLS TO UNDERSIDE OF DECK AND PROVIDE BATT SOUND INSULATION
6. PROVIDE SOUND BATT INSULATION OVER CEILING TILES IN EXAM ROOMS

6		
5		
4		
3		
2		
1	ISSUED FOR PERMITS	1-26-2018
NO.	REVISIONS / SUBMISSIONS	DATE

**PRELIMINARY 1-16-2020**

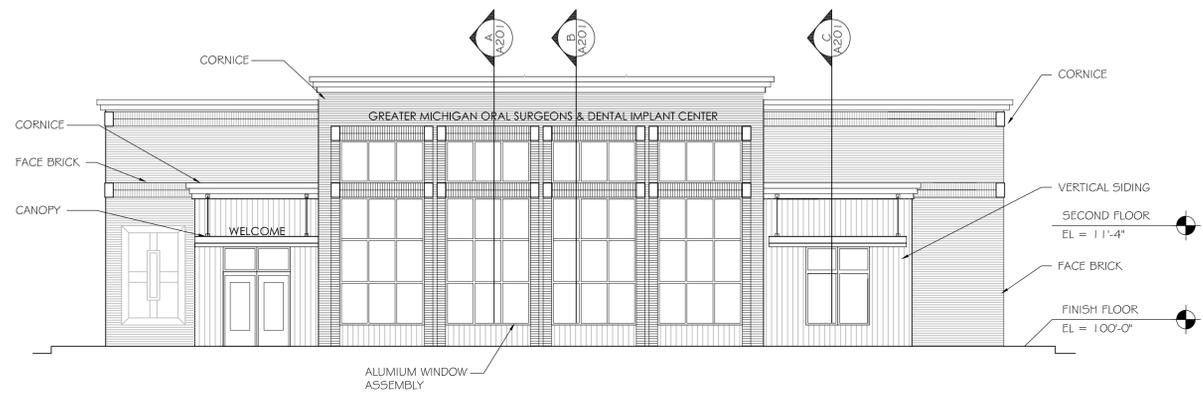


111 east court street suite 3D flint, michigan 48502

NEW BUILDING FOR:  
**GREATER MICHIGAN  
 ORAL SURGEONS**  
 5220 EASTMAN AVE  
 MIDLAND, MICHIGAN 48604

DRAWING TITLE  
**ROOF PLAN**

SEAL	DRAWN	PROJECT NO.	
		CAD FILE NO.	
		DRAWING NO.	
	REVIEWED SEW		<b>A104</b>
	DATE		SHEET NO.
	SCALE		6 OF



WEST  
ELEVATION

1/8" = 1'-0"



NORTH  
ELEVATION

1/8" = 1'-0"



EAST  
ELEVATION

1/8" = 1'-0"



SOUTH  
ELEVATION

1/8" = 1'-0"

6		
5		
4		
3		
2		
1		
NO.	REVISIONS / SUBMISSIONS	DATE

**FUN**CHITECTURE  
Finding FUNctional & creative design solutions for every need

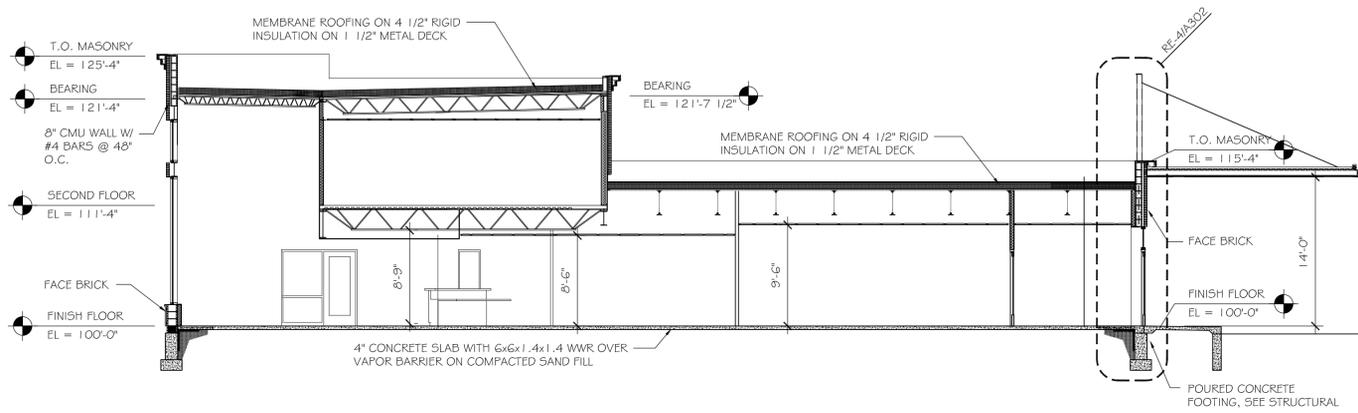
111 east court street suite 3D flint, michigan 48502

NEW BUILDING FOR:  
GREATER MICHIGAN  
ORAL SURGEONS  
5220 EASTMAN AVE  
MIDLAND, MICHIGAN 48604

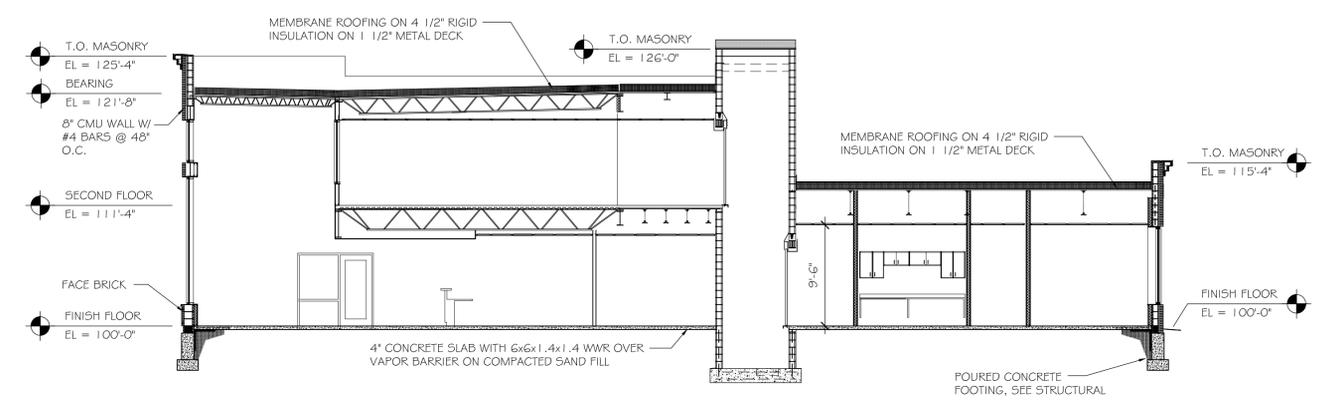
DRAWING TITLE  
EXTERIOR ELEVATIONS  
AND BUILDING SECTIONS

SEAL	DRAWN	PROJECT NO.
		CAD FILE NO. A201
	REVIEWED SEW	DRAWING NO.
	DATE	A201
	SCALE	SHEET NO. 7 OF

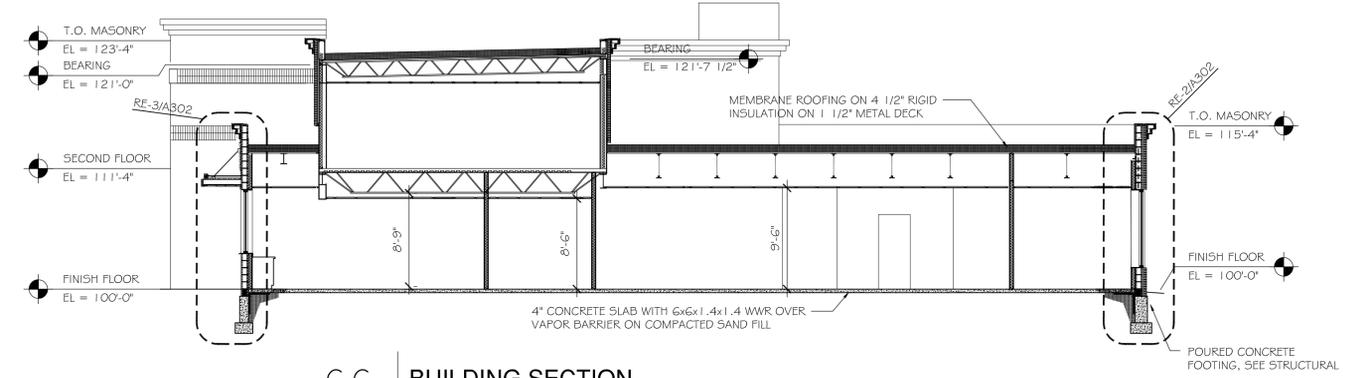
PRELIMINARY 4-3-2020



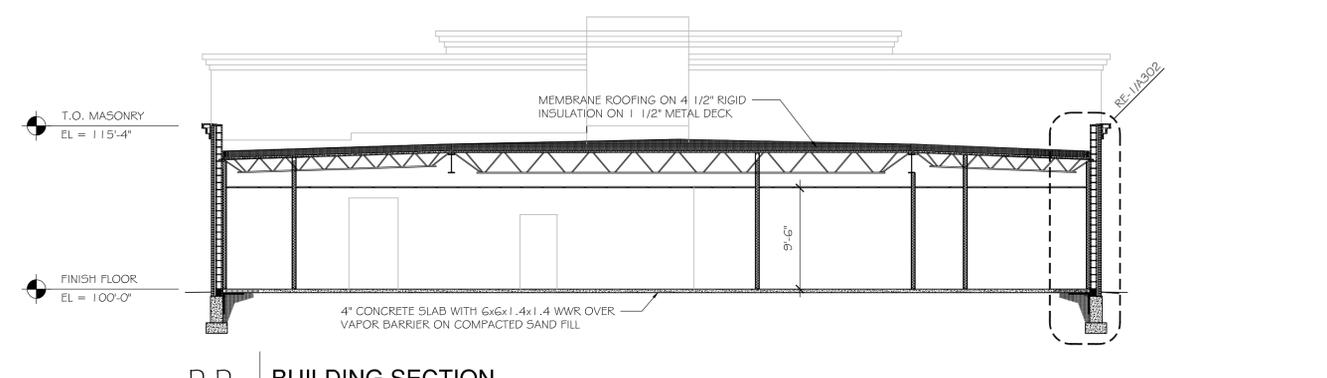
A-A BUILDING SECTION  
1/8" = 1'-0"



B-B BUILDING SECTION  
1/8" = 1'-0"

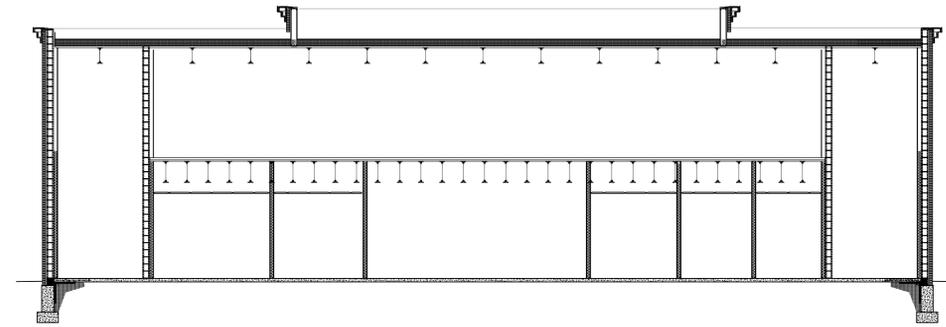


C-C BUILDING SECTION  
1/8" = 1'-0"



D-D BUILDING SECTION  
1/8" = 1'-0"

- T.O. MASONRY  
EL = 123'-4"
- SECOND FLOOR  
EL = 111'-4"
- FINISH FLOOR  
EL = 100'-0"



E-E BUILDING SECTION  
1/8" = 1'-0"

6		
5		
4		
3		
2		
1		
NO.	REVISIONS / SUBMISSIONS	DATE

PRELIMINARY 4-3-2020

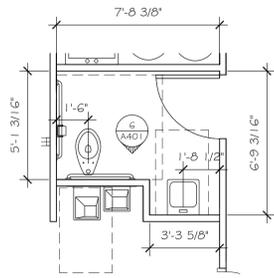
**FUN**CHITECTURE  
Finding FUNctional & creative design solutions for every need

111 east court street suite 3D flint, michigan 48502

NEW BUILDING FOR:  
GREATER MICHIGAN  
ORAL SURGEONS  
5220 EASTMAN AVE  
MIDLAND, MICHIGAN 48604

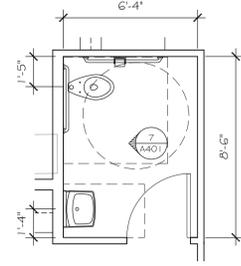
DRAWING TITLE  
BUILDING SECTIONS

SEAL	DRAWN	PROJECT NO.
		CAD FILE NO. A201
	REVIEWED SEW	DRAWING NO. A301
	DATE	SHEET NO. 7 OF
	SCALE	



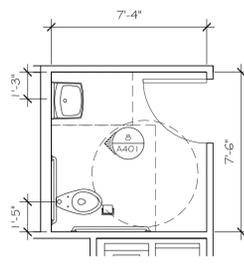
1 ENLARGED FLOOR PLAN

1/4" = 1'-0" TOILET 104



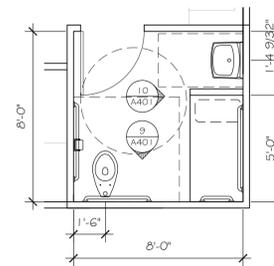
2 ENLARGED FLOOR PLAN

1/4" = 1'-0" TOILET 122



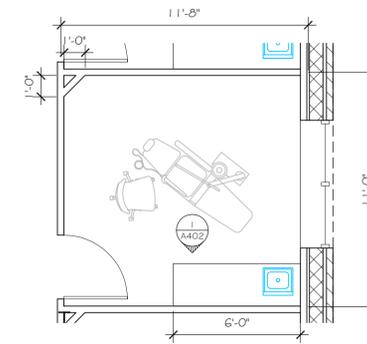
3 ENLARGED FLOOR PLAN

1/4" = 1'-0" TOILET 131



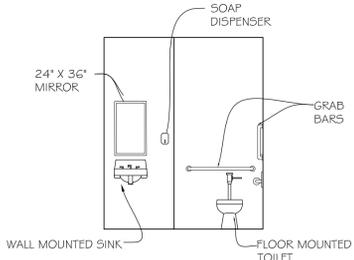
4 ENLARGED FLOOR PLAN

1/4" = 1'-0" TOILET 136



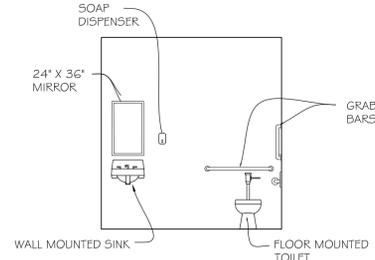
5 TYPICAL EXAM ROOM

1/4" = 1'-0"



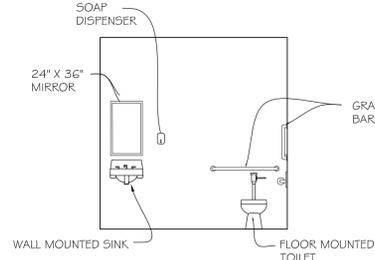
6 INTERIOR ELEVATION

1/4" = 1'-0"



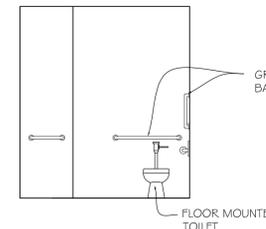
7 INTERIOR ELEVATION

1/4" = 1'-0"



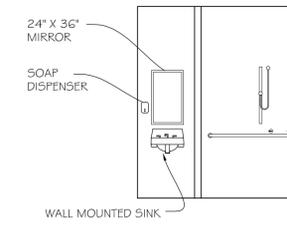
8 INTERIOR ELEVATION

1/4" = 1'-0"



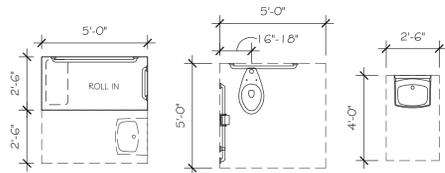
9 INTERIOR ELEVATION

1/4" = 1'-0"



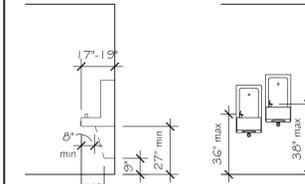
10 INTERIOR ELEVATION

1/4" = 1'-0"

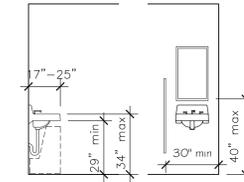


TYPICAL CLEARANCES

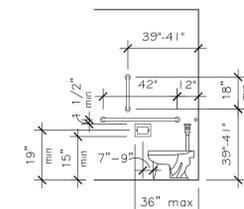
1/4" = 1'-0"



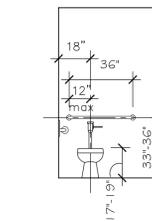
DRINKING FOUNTAIN / WATER COOLER



SINK - WALL MOUNTED



TOILET - FLOOR MOUNTED



SHOWER

NO.	REVISIONS / SUBMISSIONS	DATE

PRELIMINARY 1-16-2020

**FUN**CHITECTURE  
Finding FUNctional & creative design solutions for every need

111 east court street suite 3D flint, michigan 48502

NEW BUILDING FOR:  
GREATER MICHIGAN  
ORAL SURGEONS  
5220 EASTMAN AVE  
MIDLAND, MICHIGAN 48604

DRAWING TITLE  
ENLARGED PLANS AND  
INTERIOR ELEVATIONS

SEAL	DRAWN	PROJECT NO.
		CAD FILE NO. A101
		DRAWING NO. A401
		SHEET NO. 8 OF



# SP #398 | Greater Michigan Oral Surgeons

> 5220 Eastman Avenue



# SP #398 | Greater Michigan Oral Surgeons

> 5220 Eastman Avenue



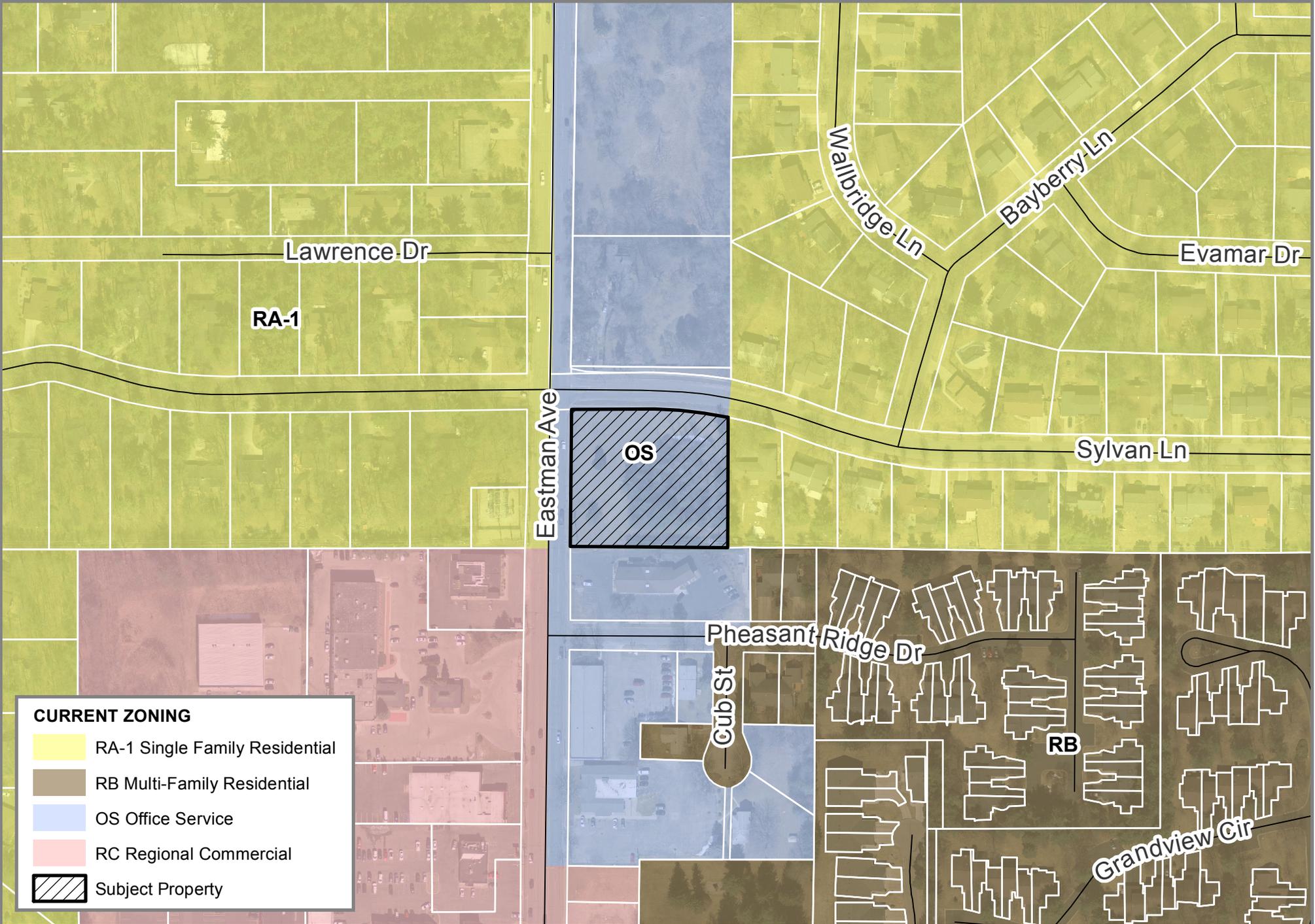
Sylvan Ln

Eastman Ave

 Subject Property

# SP #398 | Greater Michigan Oral Surgeons

> 5220 Eastman Avenue



**CURRENT ZONING**

-  RA-1 Single Family Residential
-  RB Multi-Family Residential
-  OS Office Service
-  RC Regional Commercial
-  Subject Property



Site Plan SP #399

Date: April 9, 2020

**STAFF REPORT TO THE PLANNING COMMISSION**

SUBJECT: Danbury Place

APPLICANT: Lapham Associates on behalf of PKP Properties, LLC

LOCATION: 4908 & 4912 Universal Place

ZONING: RB Multiple Family Residential

ADJACENT ZONING: N: RC Regional Commercial  
W: RB Multiple Family Residential  
E: RB Multiple Family Residential  
S: OS Office Service, RB Multiple Family Residential and CC Community Commercial

ADJACENT DEVELOPMENT: N: American Legion  
W: Multiple family residential  
E: Multiple family residential  
S: Multiple family residential

**REPORT**

Site Plan No. 399 is the proposal by PKP Properties, LLC to construct a 22 unit multiple-family residential development, totally 50,688 square feet. The property is located at 4908 and 4912 Universal Drive.

The subject property is zoned RB Multiple Family Residential by the City of Midland Zoning Ordinance. Multiple-family dwelling units are a permitted use by right. Site plan review and approval under Section 27.02(A) of the Zoning Ordinance is required for this proposed use. Section 27.06(A) of the Zoning Ordinance states that: "The following criteria shall be used as a basis upon which site plans will be reviewed and approved:"

**BASIS FOR ACTION**

**1. Adequacy of Information**

The site plan shall include all required and requested information in sufficiently complete and understandable form to provide an accurate description of the proposed uses and structures.

This site plan contains almost all of the required information within its site plan. As is standard practice, the following items remain outstanding and will be addressed at the time of permitting:

1. A final stormwater management plan and permit.
2. A final soil erosion and sedimentation control permit.
3. A revised photometric plan.
4. A revised landscaping plan.

2. **Site Design Characteristics**

All elements of the site design shall be harmoniously and efficiently organized in relation to topography, the size and type of parcel, the character of adjoining property, and the type and size of buildings. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted by this Ordinance.

The proposed site plan elements are efficiently organized within the parcel, with minimal vehicular driveway connections and appropriate building spacing and screening techniques.

3. **Appearance**

Landscaping, earth berms, fencing, signs, walls and other similar site features shall be designed and located on the site so that the proposed development is aesthetically pleasing and harmonious with nearby existing or future developments.

The design and layout of the proposed development is consistent with adjacent multiple family residential uses. The site plan proposes additional landscaping to soften the large parking area.

It should be noted that the landscaping calculations provided are not correct and need to be revised to demonstrate compliance. As such, a revised landscaping plan is necessary to the satisfaction of the City Planning Department.

4. **Compliance with District Regulations**

The site plan shall comply with the district requirements for height of building, lot size, lot coverage, density, and all other requirements set forth in the Schedule of Regulations (Article 26.00) unless otherwise provided in this Ordinance.

The project meets all setback, lot area, height and other dimensional requirements for the proposed use in the RB zoning district.

5. **Preservation and Visibility of Natural Features**

Natural features shall be preserved as much as possible, by minimizing tree and soil removal alteration to the natural drainage course and the amount of cutting, filling, and grading.

The site as exists today is undeveloped and vacant. A previous development was started over a decade back but utilities were only minimally completed but the development was abandoned. The proposed site plan minimizes removal of existing trees while also utilizing the existing drainage course of the site.

6. **Privacy**

The site design shall provide reasonable visual and sound privacy. Fences, walls, barriers, and landscaping shall be used, as appropriate if permitted, for the protection and enhancement of property and the safety and privacy of occupants and uses.

The proposed site design provides visual privacy via retaining existing trees while also spacing buildings away from lower density residential uses.

7. **Emergency Vehicle Access**

All buildings or groups of buildings shall be so arranged as to permit convenient and direct emergency vehicle access.

The proposed site plan has been arranged to permit appropriate access for emergency vehicles. Proper vehicle maneuvering around the site is also provided.

8. **Ingress and Egress**

Every structure or dwelling unit shall be provided with adequate means of ingress and egress via public or private streets and pedestrian walkways.

Adequate vehicle ingress and egress is provided as proposed for both pedestrians and vehicles.

9. **Pedestrian Circulation**

Each site plan shall provide a pedestrian circulation system, which is insulated as completely as is reasonably possible from the vehicular circulation system.

Pedestrian circulation is seen as adequate with two connections proposed to the public sidewalk system.

10. **Vehicular and Pedestrian Circulation Layout**

The layout of vehicular and pedestrian circulation systems shall respect the pattern of existing or planned streets or pedestrian or bicycle pathways in the vicinity of the site. The width of streets and drives shall be appropriate for the volume of traffic they will carry in accordance with subsection 3.10. In order to insure public safety and promote efficient traffic flow and turning movements, the applicant may be required to limit street access points or construct a secondary access road.

Vehicular and pedestrian circulation is considered to be appropriate as proposed.

11. **Parking.**

The proposed development shall provide adequate off-street parking in accordance with the requirements in Article 5.00 of this ordinance.

The proposed development provides off-street parking that is in compliance with the City's parking standards.

12. **Drainage**

The project must comply with the City's Stormwater Ordinance.

As is consistent practice, preliminary plans have been submitted, and the final stormwater plan and permit must be approved by the City Engineering Department.

13. **Soil Erosion and Sedimentation**

The proposed development shall include measures to prevent soil erosion and sedimentation during and upon completion of construction, in accordance with current State, County, and City standards.

As is consistent practice, a soil erosion and sedimentation control permit is required at the construction permitting stage of development. No concerns regarding soil erosion or sedimentation control were identified during the departmental site plan review process.

14. **Exterior Lighting**

Exterior lighting shall be designed so that it is deflected away from adjoining properties and so that it does not impede vision of drivers along adjacent streets and comply with the provisions in Section 3.12.

Proposed lighting is compliant with City standards in most areas but exceeds the standards at the vehicular entrance. A revised photometric plan to the satisfaction of the City Planning Department is required.

15. **Public Services**

Adequate services and utilities, including water, sewage disposal, sanitary sewer, and storm water control services, shall be available or provided, and shall be designed with sufficient capacity and durability to properly serve the development. All streets and roads, water, sewer, and drainage systems, and similar facilities shall conform to the design and construction standards of the City.

Adequate public services exist to serve the proposed development. Dial-A-Ride access is available within the interior of the site but will require temporary blocking of parking spaces while pick-ups

and drop-offs are happening; while not ideal, this occurrence is common. The only outstanding item remaining as it relates to public services is the final stormwater management permit.

**16. Screening**

Off-street parking, loading and unloading areas, outside refuse storage areas, and other storage areas shall be screened by walls or landscaping of adequate height and shall comply with Articles 6.00 and 7.00 of this Ordinance. All roof-top mechanical equipment shall be screened from view from all residential districts and public roadways.

As mentioned above, the screening is provided via retained and proposed vegetation.

**17. Health and Safety Concerns**

Any use in any zoning district shall comply with all applicable public health, pollution, and safety laws and regulations.

No health and safety concerns have been identified in the review of this site plan.

**18. Sequence of Development**

All development phases shall be designed in logical sequence to insure that each phase will independently function in a safe, convenient and efficient manner without being dependent upon subsequent improvements in a later phase or on other sites.

The proposed on-site development is to be completed within one phase.

**19. Coordination with Adjacent Sites**

All site features; including circulation, parking, building orientation, landscaping, lighting, utilities, common facilities, and open space shall be coordinated with adjacent properties.

The proposed development will not require coordination with any adjacent properties.

**20. Signs.**

All proposed signs shall be in compliance with the regulations in Article 8.00 of this Ordinance

The site plan provides conceptual signage. Notably, the proposed ground signage is within a utility easement at the front of the property. This signage must be relocated. All proposed signs shall apply for sign permits in line with the requirements of Article 8.00 and be approved by the City Building Department.

**CONTINGENCY ITEMS**

Based on evaluation of the site plan as proposed, staff is of the opinion that the proposal meets the City's requirements and is designed in a manner to fit harmoniously into this area of the city. That said, inclusion of the following contingencies should be maintained in order for the plan to fully satisfy City requirements:

1. A final stormwater management plan and permit to the satisfaction of the City Engineering Department.
2. A final soil erosion and sedimentation control permit to the satisfaction of the City Building Department.
3. A revised photometric plan to the satisfaction of the City Planning Department.
4. A revised landscaping plan to the satisfaction of the City Planning Department.

**PLANNING COMMISSION ACTION**

Staff currently anticipates that the Planning Commission will hold a public hearing on this request during its regular meeting on April 14, 2020 and will formulate a recommendation to City Council thereafter. If recommended to City Council the same evening, we anticipate that on April 27, 2020 the City Council will

consider the site plan and Planning Commission recommendation. Please note that these dates are merely preliminary and may be adjusted due to Planning Commission action and City Council agenda scheduling.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read "Grant Murschel". The signature is written in a cursive, flowing style.

Grant Murschel  
Director of Planning & Community Development

# Danbury Place

Prepared For

## PKP Properties, LLC

Section 6, T.14N., R.2E., City of Midland, Midland County, Michigan

SITE ADDRESS: 4912 Universal Dr., Midland, MI 48642

### Property Description:

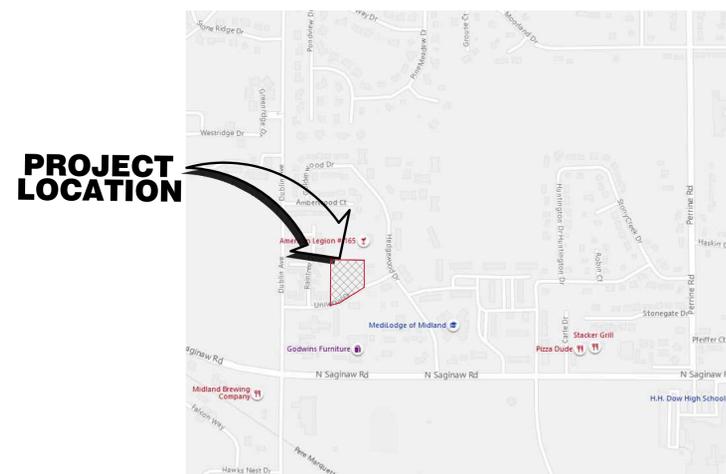
Lots 6 & 7 of Hedgewood Subdivision No. 1, City of Midland, Midland County, MI

### Sheet Index:

- C-1 Cover Sheet
- C-2 General Notes
- C-3 Topographic Survey
- C-4 Demolition Plan
- C-5 Site Plan
- C-6 Site Details
- C-7 Utility Plan
- C-8 Photometric Plan
- C-9 Grading Plan
- C-10 Storm Water Management Plan
- C-11 Landscaping Plan
- C-12 Life Safety Site Plan
- C-13 SESC Plan (not included in Site Plan submittal)
- C-14 SESC Key (not included in Site Plan submittal)
- C-15 Specifications (not included in Site Plan submittal)
- C-16 Specifications (not included in Site Plan submittal)
- City of Midland Standard Details (not included in Site Plan submittal)

### Submission Table:

- February 25, 2020 Submit initial preliminary site plans to the City of Midland for their review. **These plans are not to be used for construction.**
- April 7, 2020 Revised site plans per the City of Midland site plan review comments. **These plans are not to be used for construction.**



**LOCATION MAP**  
N.T.S.



PROJECT NUMBER: P-190545	DRAWN BY: S.E. Bell	SCALE: N/A
ENGINEER: Timothy L. Lapham, P.E., P.S. 27395	DATE: April 7, 2020	SHEET C-1
REVISIONS:		

**Cover Sheet**  
Multi-Family Residential Development  
4912 Universal Dr., Midland, MI 48642  
For  
**PKP Properties, LLC**

**LAPHAM ASSOCIATES**  
ENGINEERING  
PLANNING  
ENVIRONMENTAL  
SURVEYING  
116 South 3rd Street  
West Branch, MI 48661  
P (989) 345-5030  
F (989) 345-7302  
www.laphamassoc.com  
© 2020 COPYRIGHT, LAPHAM ASSOCIATES  
UNAUTHORIZED COPYING IS PROHIBITED.

APPROVED USE FOR:  
 PRELIMINARY  
 PERMIT BID  
 CONSTRUCTION  
 FINAL RECORD  
**C-1**

# NOTE SHEET

## OTHER NOTES

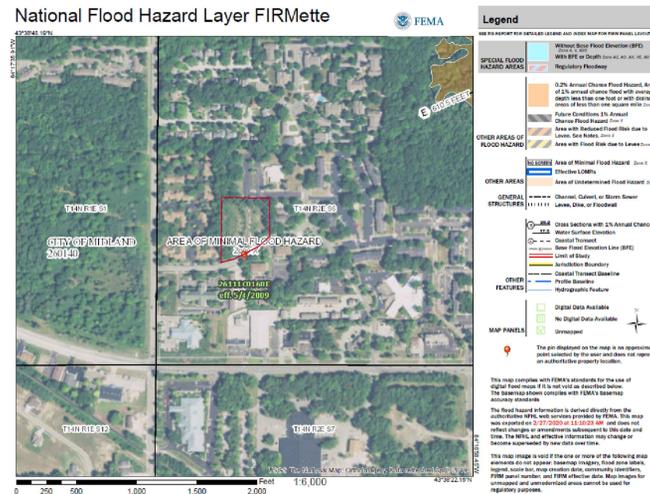
- EXTENSION OF PUBLIC UTILITIES:** All public sanitary sewer and/or water main **SHALL** be extended to the fullest limits of the property, including corner lots, with the pipe size and material approved by the owning municipality. This is necessary for plan approval. For water service of 1" or less or a building on a corner lot, the requirements to extend the public water main and/or sanitary sewer along both property lines will be reviewed.
- SOIL EROSION:** The DEVELOPER shall submit a detailed Soil Erosion and Sedimentation Control plan and obtain an Act 451 Part 91, Soil Erosion and Sedimentation Control permit. This includes the payment of fees and the providing of necessary bonds. **No earth changes or excavation shall be started prior to the issuance of this permit.** The DEVELOPER shall protect all existing and proposed storm sewer facilities on and adjacent to the site during excavation and construction. All sediment shall be contained on site. Any silt in county drains, storm sewer, culverts, etc. as a result of this project, shall be removed by the DEVELOPER at the cost of the DEVELOPER.
- FLOOD PLAIN OR WETLAND CONSTRUCTION:** The DEVELOPER shall apply to the Michigan Department of Environment Great Lakes and Energy (EGLE) for a permit for the alteration and/or occupation of a flood plain or floodway, as required under PA 451. Evidence of this permit may be required prior to plan approval.
- NPDES STORM WATER DISCHARGE PERMIT:** The owner of the property shall obtain a NPDES Storm Water Discharge permit for construction activities from EGLE as required under Public Act 451. The notice of coverage form shall be submitted with the Soil Erosion Control permit application. All EGLE fees shall accompany the Notice of Coverage.
- ROAD PERMIT:** The DEVELOPER shall obtain a permit from the City to perform work within the road Right-of-Way. All fees for the permit, bonds and insurances are the responsibility of the developer.
- MUNICIPALITY SANITARY SEWER AND WATER PERMIT:** Prior to the issuance of a building permit by the local municipality, the developer may be required to obtain a sanitary sewer and/or water tap-in permit from the owning municipality.
- STATE CONSTRUCTION PERMITS:** The sanitary sewer and water main construction permits from the Michigan Department of Environment Great Lakes and Energy shall be submitted to the EGLE after approval local municipality. Construction shall not begin until these state permits are issued.
- UTILITY WARNING -** Underground locations as shown on the plans were obtained from utility owners, and were not field located. A minimum of three (3) working days prior to beginning construction, the contractor shall notify "MISS DIG" (800-482-7171) and have all underground utilities staked before any work may begin. The contractor shall be responsible for the protection and/or relocation of all utilities that may interfere with construction. Three (3) Working Days Before You DIG - Call MISS DIG (1-800-482-7171).

## NRCS SOILS MAP

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
Kg	Kingsville loamy fine sand	2.8	97.3%
PsB	Pipestone sand, Erie-Huron Lake Plain, 0 to 3 percent slopes	0.1	2.7%
<b>Totals for Area of Interest</b>		<b>2.8</b>	<b>100.0%</b>



## FEMA FLOOD MAP



## BENCHMARKS

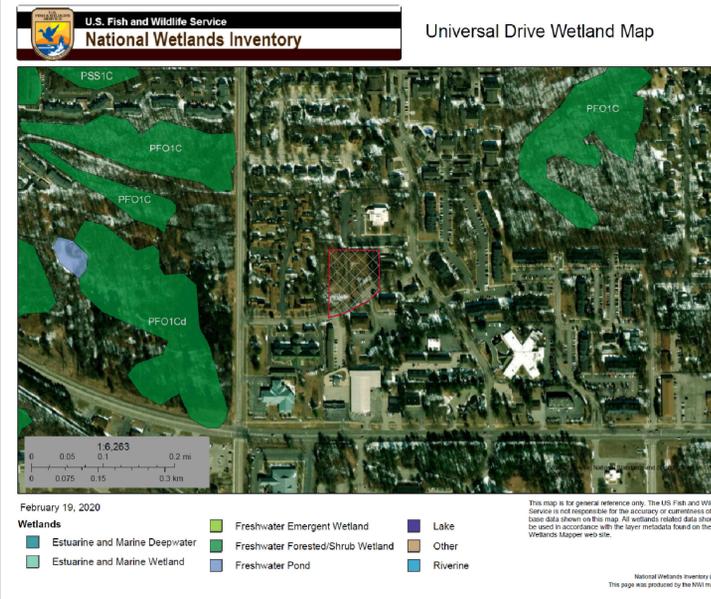
**Benchmark #1**  
Top of hydrant on north side of Universal Drive 200± west of Hedgewood Drive.  
NAVD 83 datum Elev. = 627.23 (City of Midland datum 629.11)

**Benchmark #1**  
Top of Screw & tag in lightpole on south side of Universal Drive south of west property line.  
NAVD 83 datum Elev. = 626.85 (City of Midland datum 628.73)

## PLAN LEGEND

- ELECT— = OVERHEAD ELECTRIC LINE
- GAS—GAS— = BURIED GAS LINE
- SAN—SAN— = SANITARY SEWER
- WATER— = WATER MAIN
- UG TELE— = UNDERGROUND TELEPHONE
- ⊙ = SANITARY MANHOLE
- ⊙ = STORM MANHOLE
- ⊙ = CATCH BASIN
- ⊙ = CURB INLET
- ⊙ = FIRE HYDRANT
- ⊙ = WATER VALVE
- ⊙ = LIGHT POLE
- ⊙ = STREET SIGN
- ⊙ = FENCE LINE
- ⊙ = UTILITY POLE
- ⊙ = FOUND CAPPED IRON
- ⊙ = SET CAPPED IRON
- ⊙ = BITUMINOUS PAVING
- ⊙ = CONCRETE PAVING OR WALKWAY
- ⊙ = PLS SYSTEM CORNER
- R = RECORDED AS IN TITLE DESCRIPTION
- P = PREVIOUSLY DESCRIBED
- M = MEASURED AS
- ⊙ = PROPOSED LIGHT POLE

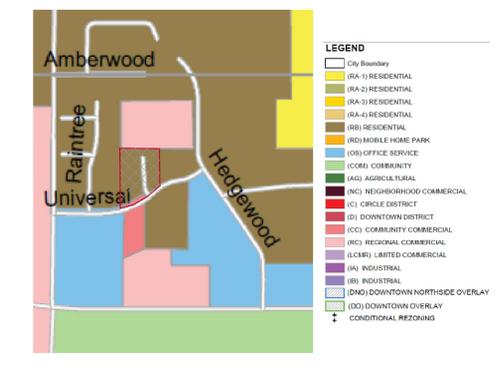
## WETLAND MAP



## ABBREVIATIONS

LIST OF ABBREVIATIONS	Definitions
A.C.	Alternating Current
A.F.C.	Adult Foster Care
ASPH.	Asphalt Paving
ASTM	American Society of Testing Materials
AWS	American Welding Society
AWWA	American Waterworks Association
BLDG.	Building
CIP	Compacted in place
CL	Class
CONC.	Concrete
C.Yd. or CYD	Cubic Yard
DR	Dimension Ratio
°	Degrees
EA	Each
EJ	East Jordan Iron Works
ELEV.	Elevation
EX	Existing
F.F.	Finish Floor
G.P.M.	Gallons Per Minute
I.Q.	Inside Diameter
Inv.	Invert
Lbs.	Pounds
LFT	Lineal Feet
L.S.	Lump Sum
Max.	Maximum
MDOT	Michigan Department of Transportation
M.H.	Manhole
Mil.	Millimeter
Min.	Minimum
MUW	Maximum Unit Weight at optimum moisture content
No.	Number
NSF	National Sanitation Foundation
OSHA	Occupational Safety Health Administration
PSIGP	Pounds per square inch gauge
PVC	Polyvinyl Chloride
R.O.W. or R/W	Right-of-Way
RAD.	Radius
SDR	Standard Dimension Ratio
SYD	Square Yard
T.D.H.	Total Dynamic Head
V.L.F.	Vertical Lineal Feet
'	Minutes of angles or Feet
"	Seconds of angles or Inches
%	Percent
#	Pounds

## ZONING MAP



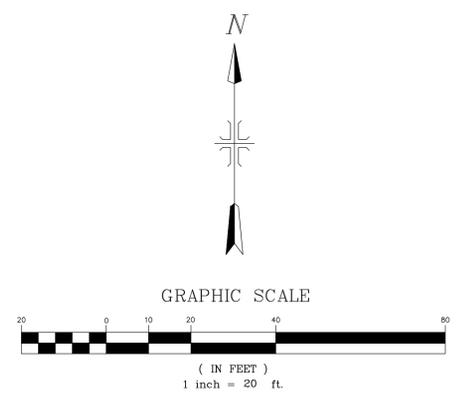
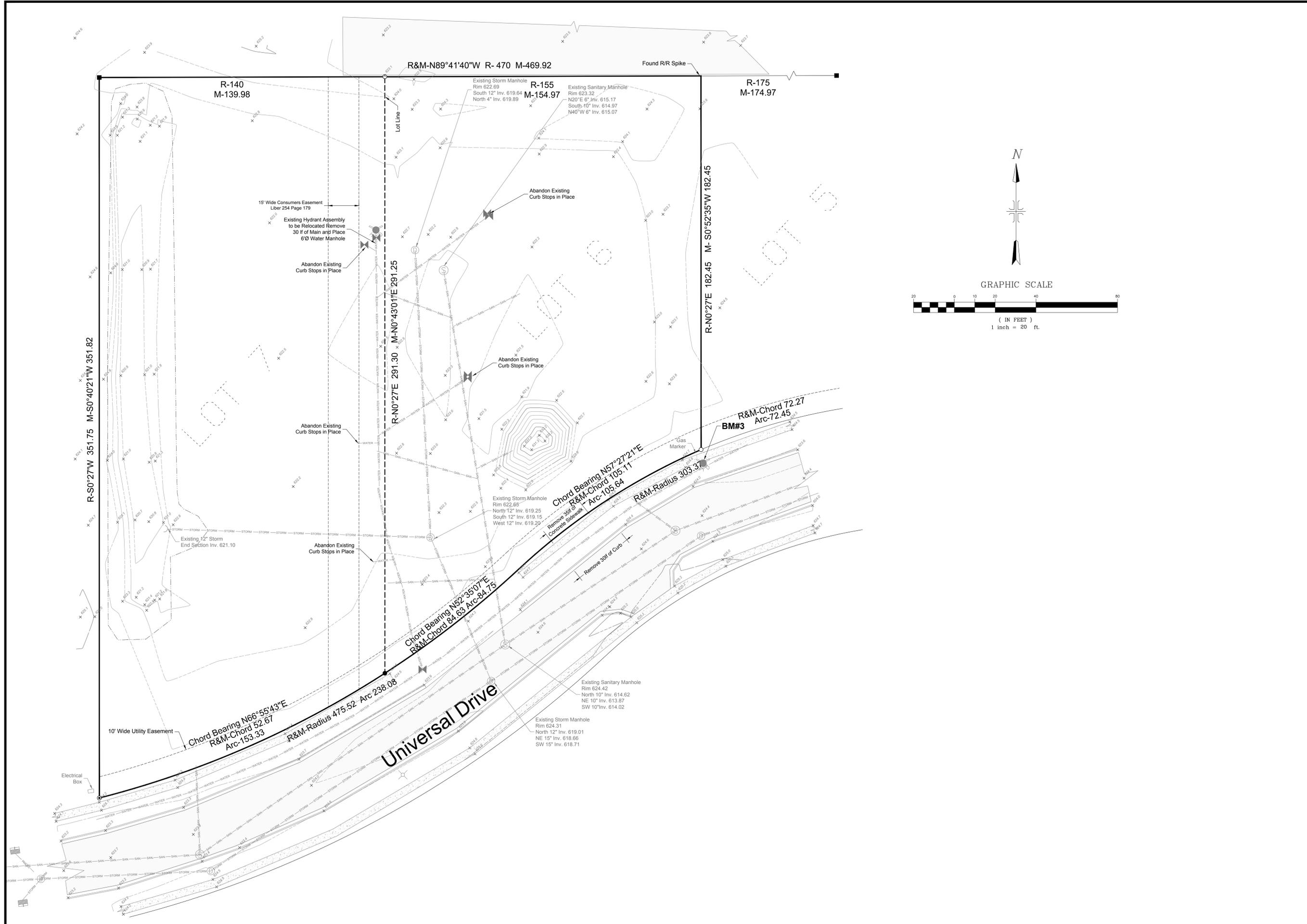
**General Notes**  
Multi-Family Residential Development  
4912 Universal Dr., Midland, MI 48642  
For  
PKP Properties, LLC

**LAPHAM ASSOCIATES SURVEYING**  
ENGINEERING PLANNING ENVIRONMENTAL  
116 South 3rd Street  
West Branch, MI 48861  
P (989) 345-5030  
F (989) 345-7302  
www.laphamassoc.com  
© 2020 COPYRIGHT, LAPHAM ASSOCIATES  
UNAUTHORIZED COPYING IS PROHIBITED.

APPROVED USE FOR:  
● PRELIMINARY  
● PERMIT/ID  
● CONSTRUCTION  
● FINAL RECORD

PROJECT NUMBER: P-190545  
ENGINEER: Timothy L. Lapham, P.E., P.S. 27595  
REVISIONS:  
DRAWN BY: S.E. Baill  
DATE: April 7, 2020  
SCALE: N/A  
SHEET C-2



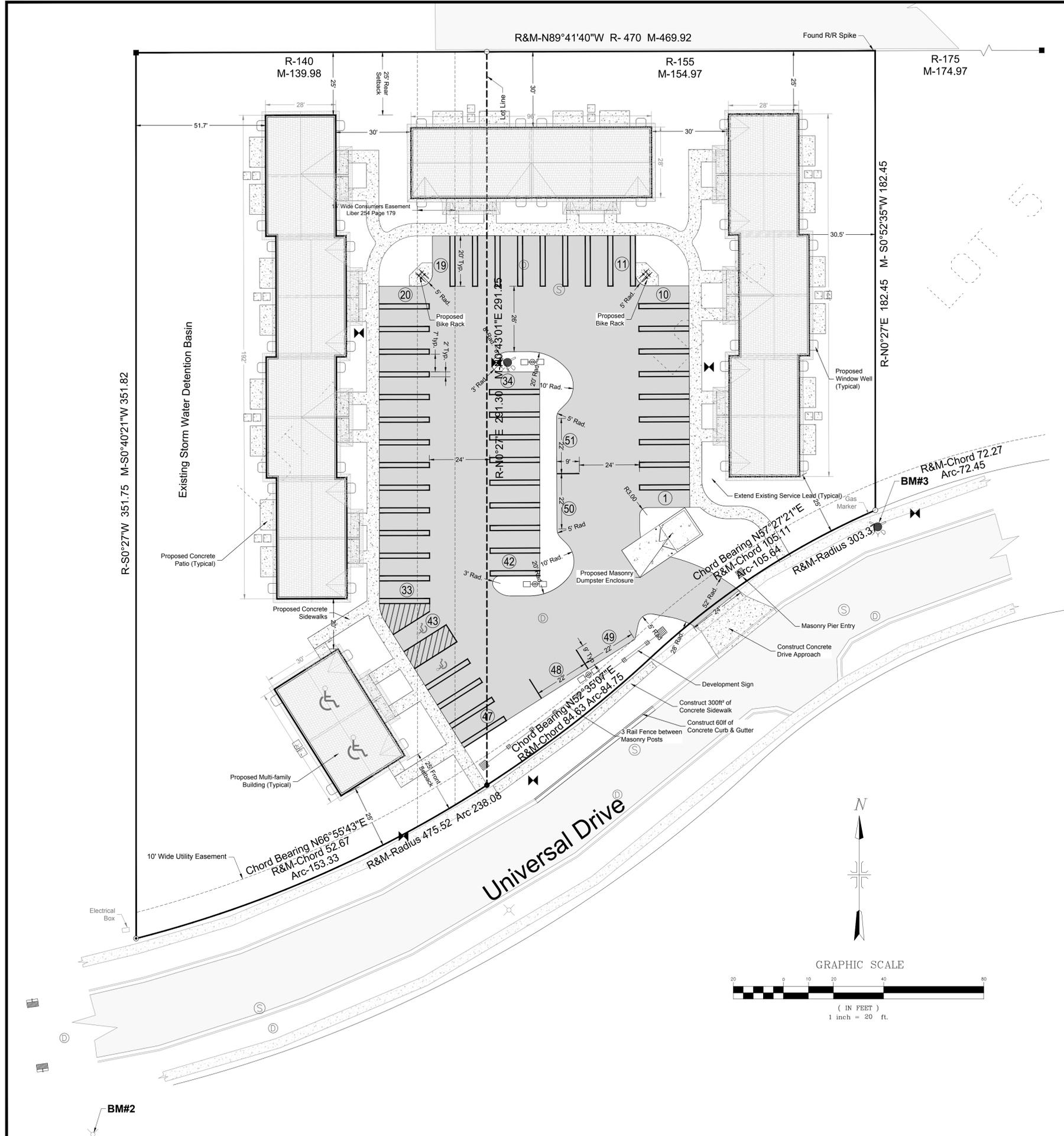


PROJECT NUMBER: P-190545	DRAWN BY: S.E. Bell	SCALE: 1" = 20'
ENGINEER: Timothy L. Lapham, P.E., P.S. 27595	DATE: April 7, 2020	SHEET C-4
REVISED:		
REVISED:		

**Demolition Plan**  
Multi-Family Residential Development  
4912 Universal Dr., Midland, MI 48642  
For  
**PKP Properties, LLC**

**LAPHAM ASSOCIATES**  
ENGINEERING  
PLANNING  
ENVIRONMENTAL  
SURVEYING  
116 South 3rd Street  
West Branch, MI 48661  
P (989) 345-5030  
F (989) 345-7302  
www.laphamassoc.com  
© 2020 COPYRIGHT, LAPHAM ASSOCIATES  
UNAUTHORIZED COPYING IS PROHIBITED.

APPROVED USE FOR:	<b>C-4</b>
○ PRELIMINARY	
● PERMIT/BID	
○ CONSTRUCTION	
○ FINAL RECORD	



### Site Plan Notes:

- These plans and specifications are subject to modification during construction when conditions develop that were not apparent during the design and preparation of these plans. All modifications must be approved by local jurisdiction prior to construction and/or implementation.
- In the event of any discrepancy between any drawing and the figures written thereon, the figures shall be taken as correct.
- Should it appear that the work to be done or any matter relative thereto is not sufficiently detailed or explained on these plans, the contractor shall contact the engineer for such further explanations as may be necessary.
- Before commencement of work, the contractor shall review all plans and specifications and the job site. The contractor shall notify the owner and the engineer of any discrepancies that may require modification to these plans or of any field conflicts.
- Contractor agrees that in accordance with generally accepted construction practices, the contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property. This requirement shall be made to apply continuously and not be limited to normal working hours.
- Contractor shall obtain all necessary permits prior to commencing construction involving right-of-ways, and for the construction, modification, or connection to facilities. All workmanship, equipment and materials shall conform to local jurisdiction standards and specifications.
- Traffic control shall be provided in accordance with local jurisdiction.
- The contractor shall provide all lights, signs, barricades, flag men, or other devices necessary to provide for public safety.
- Where soil or geologic conditions encountered in grading operations are different from those generally anticipated, or where conditions warrant changes to the recommendations contained therein, a report of soil or geologic conditions shall be submitted along with proposed changes for approval and shall be accompanied by an engineer's opinion as to the safety of the site from the possibility of land slippage, settlement and seismic activity.
- A preconstruction meeting shall be scheduled with the developer, services personnel and the developer's contractor. A preconstruction meeting shall take place prior to the starting of any construction on the site.
- Meet all current applicable ADA requirements for parking, signage, ramps, sidewalks, and warning notification on sidewalks approaching drives as required.

### Zoning Notes:

**Owner:** PKP Properties, LLC  
2525 N. Eastman Road  
Midland, MI 48642

**Use:** Multi-family Residential  
**Zoning:** Residential B District "Multiple Family Residential District"

**Setbacks:** Front Setback 25'  
Side Setback 25'  
Rear Setback 25'

**Density:** (per Table 9.2 - 3,500 ft<sup>2</sup> per 3 or more bedroom unit required)  
Parcel Size 81,763 ft<sup>2</sup> / 3,500 ft<sup>2</sup> per unit = 23 units maximum  
22 units x 3,500 ft<sup>2</sup> per unit = 77,000 ft<sup>2</sup> required less than the 81,763 ft<sup>2</sup> parcel

### Parking Calculations:

**Parking Spaces Required:**  
2 Space per Dwelling Unit + 1 space per every 3 Dwelling Units per Table 5.3

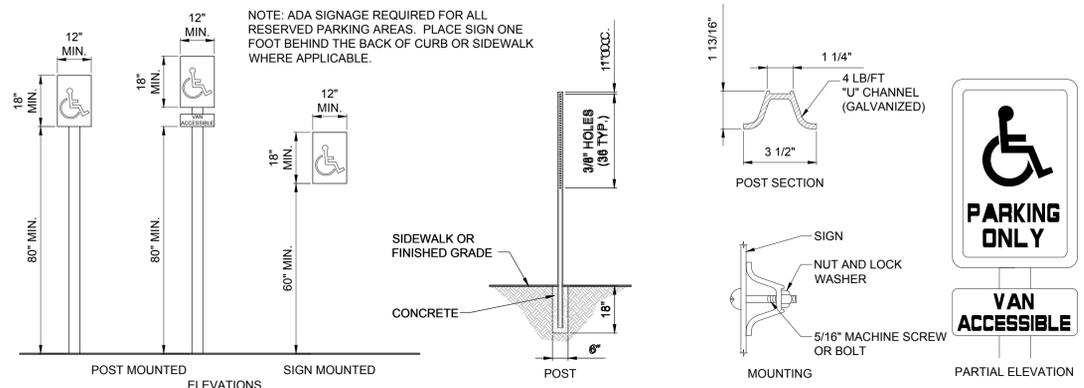
22 Dwelling Units x 2 =	44 Spaces
22 Dwelling Units / 3 =	7 Spaces
<b>Total Required Spaces</b>	<b>51 Spaces</b>
Total Provided Spaces	51 Spaces

PROJECT NUMBER: P-190545	SCALE: 1" = 20'
ENGINEER: Timothy L. Lapham, P.E., P.S. 27595	DRAWN BY: S.E. Bell
REVISIONS:	DATE: April 7, 2020
REVISOR:	SHEET C-5

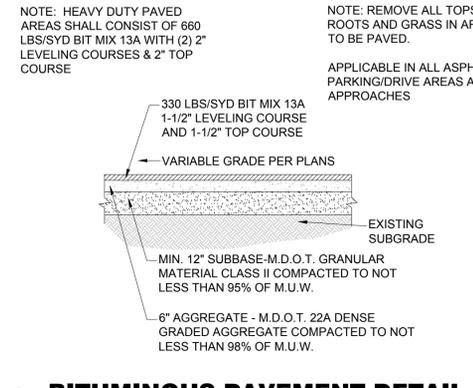
**Site Plan**  
Multi-Family Residential Development  
4912 Universal Dr., Midland, MI 48642  
For  
**PKP Properties, LLC**

**LAPHAM ASSOCIATES ENVIRONMENTAL SURVEYING**  
116 South 3rd Street  
West Branch, MI 48661  
P (889) 345-5030  
F (889) 345-7302  
www.laphamassoc.com  
© 2020 COPYRIGHT, LAPHAM ASSOCIATES  
UNAUTHORIZED COPYING IS PROHIBITED.

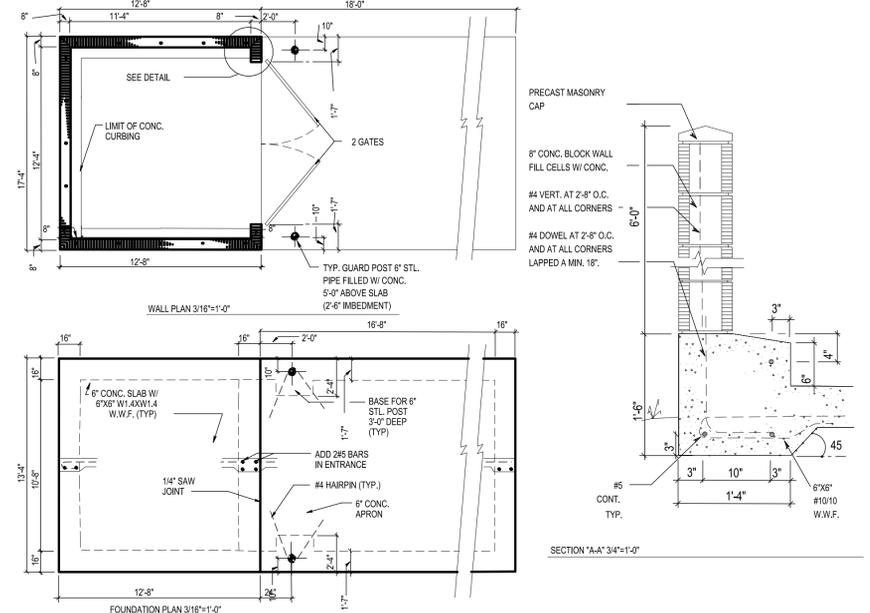
APPROVED USE FOR:  
 PRELIMINARY  
 PERMIT/BID  
 CONSTRUCTION  
 FINAL RECORD  
**C-5**



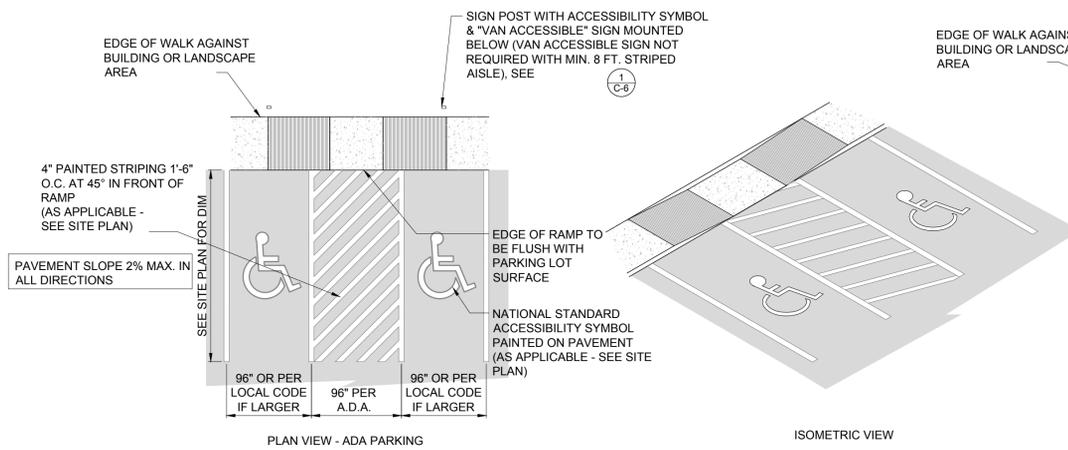
1 ADA SIGNAGE DETAIL  
C-6 SCALE: NONE



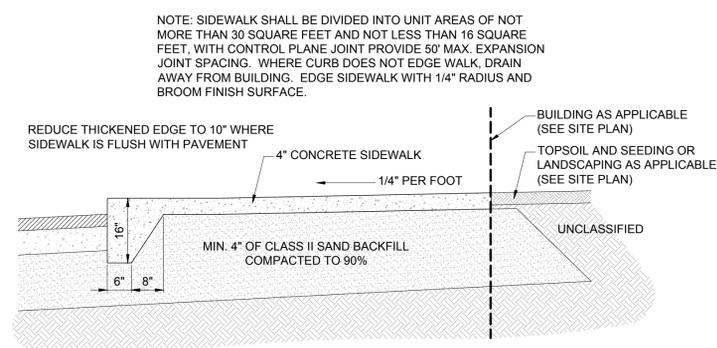
2 BITUMINOUS PAVEMENT DETAIL  
C-6 SCALE: NONE



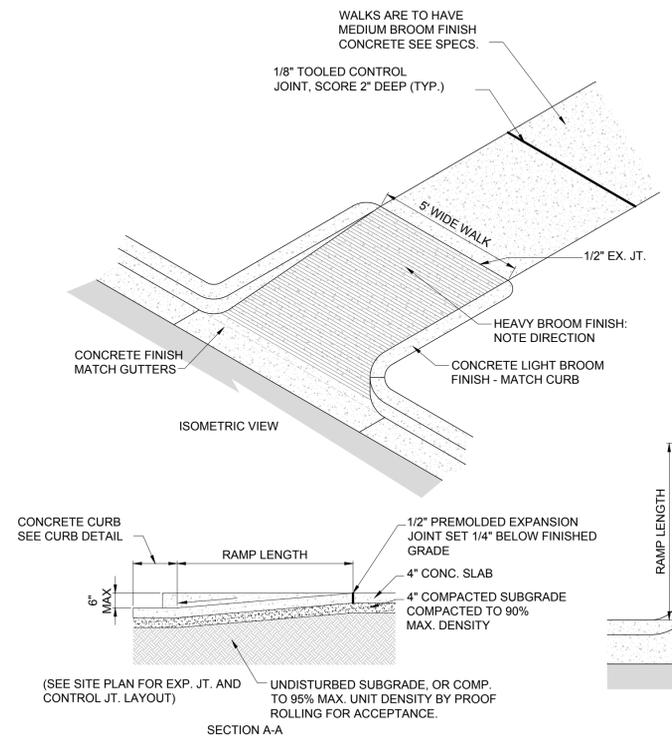
3 DUMPSTER ENCLOSURE DETAIL  
C-6 SCALE: As Shown



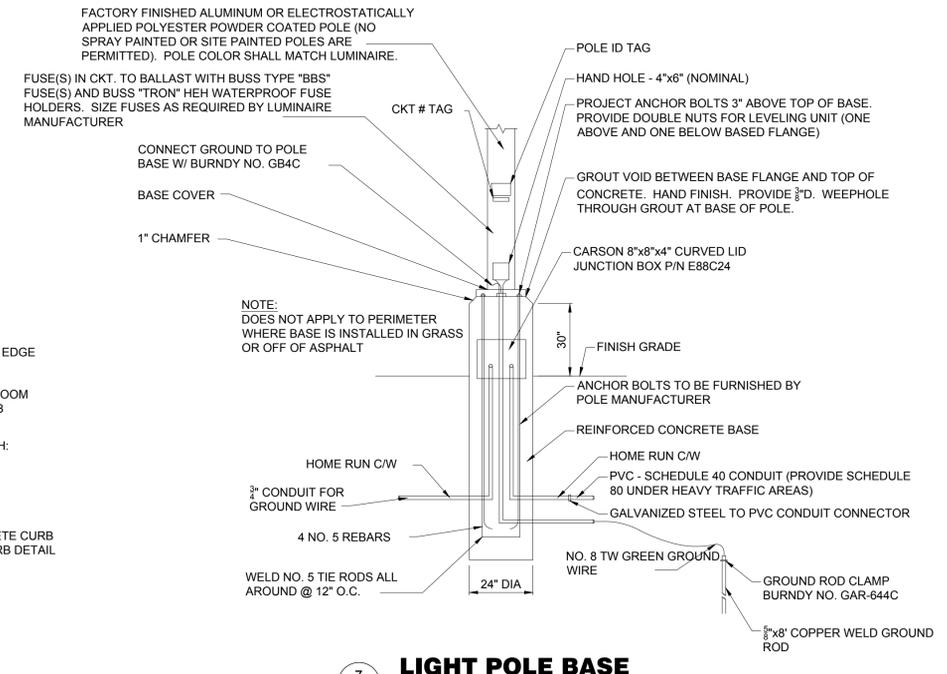
4 ACCESSIBLE PARKING STALLS  
C-6 SCALE: NONE



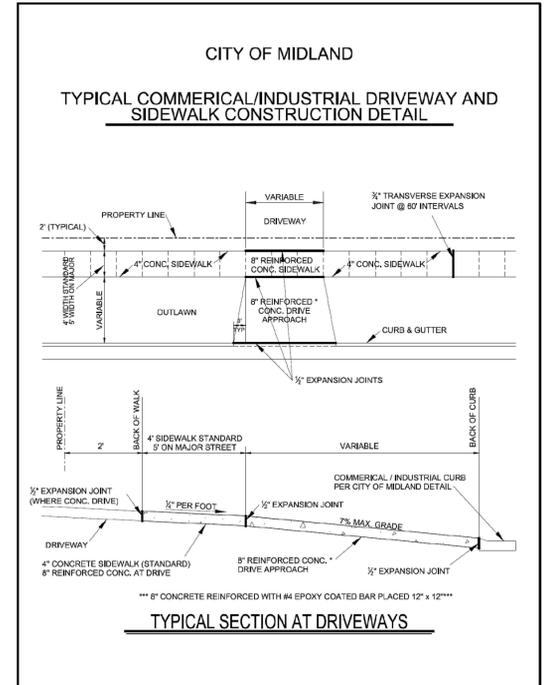
6 TYPICAL SIDEWALK DETAIL  
C-6 SCALE: NONE



5 BARRIER FREE RAMP - TYPE I  
C-6 SCALE: NONE



7 LIGHT POLE BASE  
C-6 SCALE: NONE



TYPICAL SECTION AT DRIVEWAYS

SCALE: N/A
SHEET C-6
PROJECT NUMBER: P-190545
DRAWN BY: S.E. Bell
ENGINEER: Timothy L. Lapham, P.E., P.S. 27595
DATE: April 7, 2020
REVISIONS:
REVISOR:

**Site Details**  
Multi-Family Residential Development  
4912 Universal Dr., Midland, MI 48642  
For  
PKP Properties, LLC

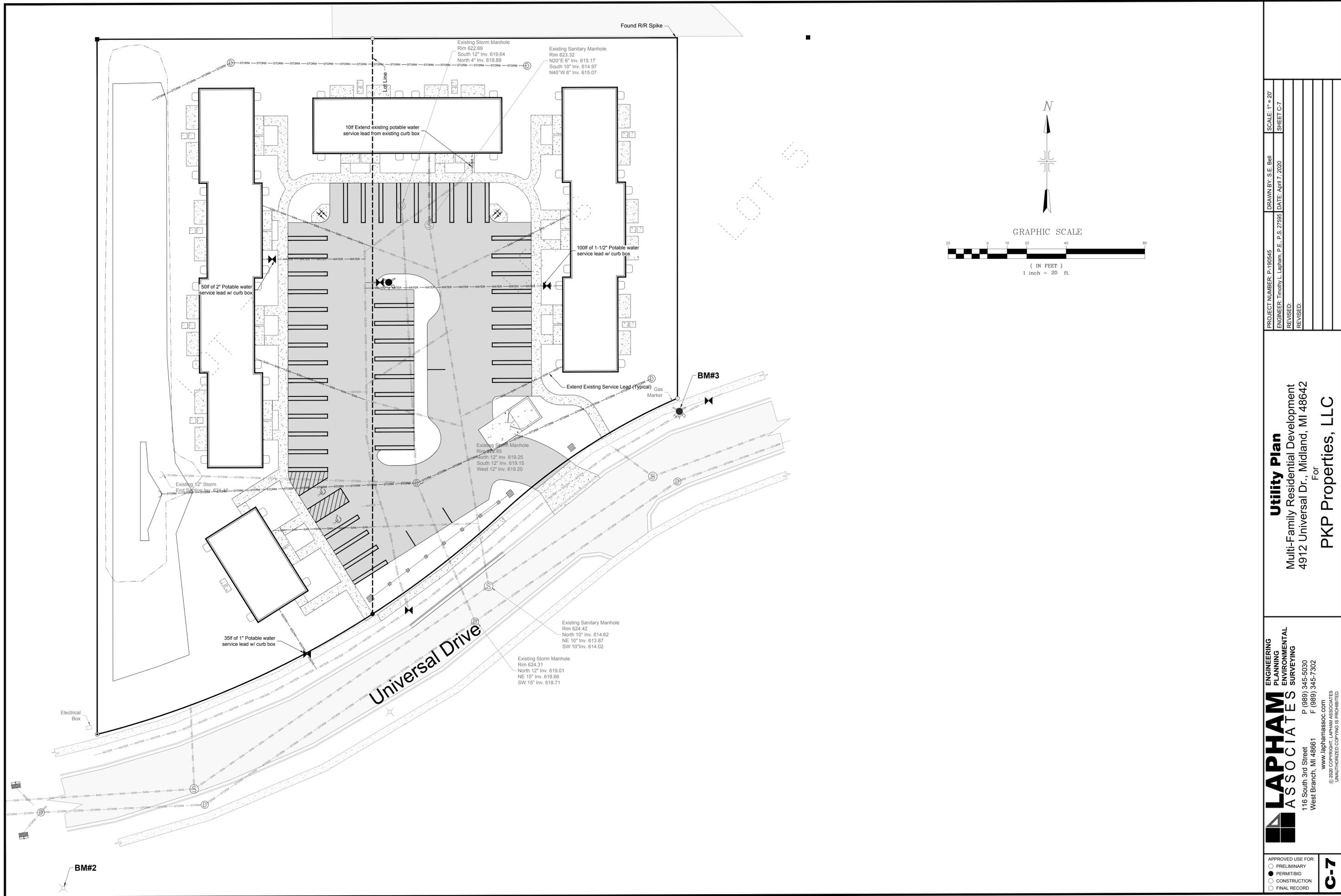
ENGINEERING  
PLANNING  
ENVIRONMENTAL  
ASSOCIATES  
SURVEYING

**LAPHAM ASSOCIATES**

116 South 3rd Street  
West Branch, MI 48661  
P (989) 345-5030  
F (989) 345-7302  
www.laphamassoc.com  
© 2020 COPYRIGHT, LAPHAM ASSOCIATES  
UNAUTHORIZED COPYING IS PROHIBITED

APPROVED USE FOR:
PRELIMINARY
PERMIT/BID
CONSTRUCTION
FINAL RECORD

**C-6**



PROJECT NUMBER: P-190545	DRAWN BY: S.E. Bell	SCALE: 1" = 20'
ENGINEER: Timothy L. Lapham, P.E., P.S. 27693	DATE: April 7, 2020	SHEET C-7
REVISED:		

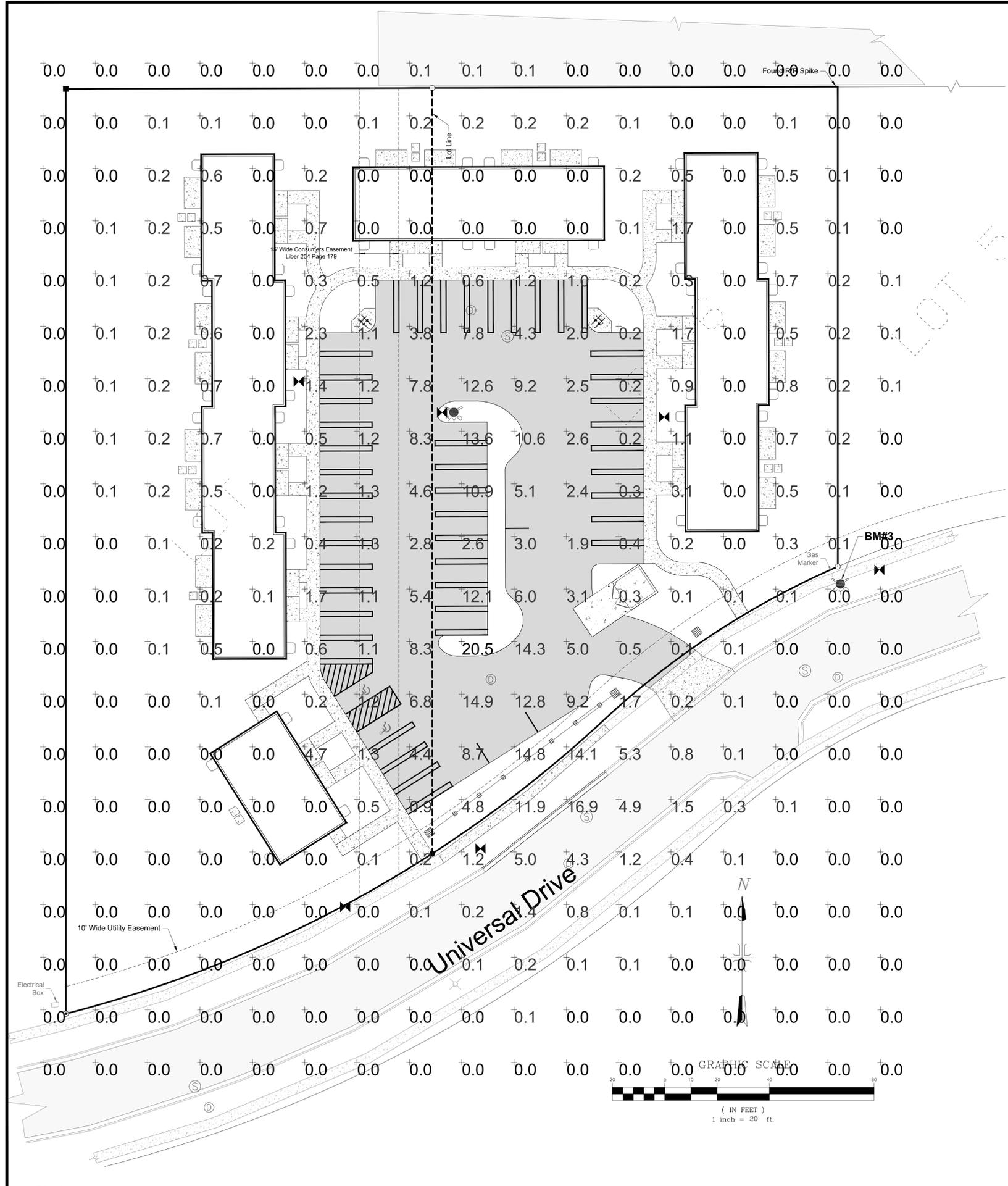
**Utility Plan**  
 Multi-Family Residential Development  
 4912 Universal Dr., Midland, MI 48642  
 For  
 PKP Properties, LLC

**LAPHAM ASSOCIATES**  
 ENGINEERING  
 PLANNING  
 ENVIRONMENTAL  
 SURVEYING

116 South 3rd Street  
 West Branch, MI 48661  
 www.laphamassoc.com  
 P (889) 345-5030  
 F (889) 345-7302

© 2020 COPYRIGHT LAPHAM ASSOCIATES  
 UNAUTHORIZED COPYING IS PROHIBITED

APPROVED USE FOR:	<b>C-7</b>
○ PRELIMINARY	
● PERMIT/BID	
○ CONSTRUCTION	
○ FINAL RECORD	



**LOWE'S**

Item # 727836 Model # WLL131SB  
**Portfolio 11.22-in H Sandy Black LED Outdoor Wall Light ENERGY STAR**

57 Ratings  
 4.2 Average  
 86% Recommend this product  
 Community Q&A  
 View Now

**EXCLUSIVE**  
 \$7.99 (was \$9.99)  
 SAVE 80% thru 03/07/2020

- Sandy black finish outdoor wall lights is classic and refined
- Frosted shades diffuse light beautifully
- Crafted from weather resistant materials for durability season after season

Low's Has 'You Covered'  
 We're here to help with extended warranty protection, assembly, haul away and more. Add to cart to view availability.

Ships to Store FREE  
 Shipping & Delivery  
 Ready for pickup: Estimated 3 - 7 days  
 Ready for delivery: Estimated 3-7 days

**Product Information**

**Description**  
 This beautiful and practical 2pk LED outdoor wall lights are crafted from the finest materials for long lasting weather resistance and durability. LED lighting provides years of maintenance free lighting. Energy Star® certified products help you save money on utility bills without sacrificing performance, style or comfort.

- Sandy black finish outdoor wall lights is classic and refined
- Frosted shades diffuse light beautifully
- Crafted from weather resistant materials for durability season after season
- Traditional lantern design is ideal for illuminating your entryway
- Integrated 11 watt LED is energy efficient and maintenance free
- Measures 11.22 H x 6.5 W x 7.52 D

Energy Star® certified products help you save money on utility bills without sacrificing performance, style or comfort.

Hardware included for fast and easy installation

**Specifications**

Collection Name	N/A	Lumens (Lumens)	546
Type	Outdoor lantern	Glass Color	Frosted
Size	Large (larger than 9 inches)	Glass Style	Flat
Package Quantity	1	Style	Transitional
Bulb Type	LED	Dark Sky	X
Number of Bulbs Required	1	Hardware Included	✓
Bulb(s) Included	✓	Weather Resistant	✓
		Weatherproof	✓
		Weight (lbs.)	3.5
		ENERGY STAR Certified	✓
Recommended Light Bulb Shape	LED	Low's Exclusive	✓
Light Bulb Base Type	LED	Warranty	5-year limited
Power Source	Hardwired	Safety Listing	UL safety listing
Material	Metal	UNSPSC	39111600
Fixture Height (Inches)	11.22	Wattage	11
Fixture Width (Inches)	6.5	Motion Sensor	X
Fixture Depth (Inches)	7.52		
Manufacturer Color Finish	Sandy Black		
Fixture Color Family	Black		
Fixture Finish	N/A		
Wattage Equivalent	15		

**DESCRIPTION**  
 The Galleon™ LED luminaires delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AcuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP68 rated and UL/ULC Listed for wet locations.

Catalog #	Type
Project	Date
Comments	
Prepared by	

**Streetworks**

**GAN GALLEON LED**  
 1-10 Light Squares  
 Solid State LED  
 AREA / ROADWAY LUMINAIRE

**DESCRIPTION**  
 Construction: Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy wall, die-cast aluminum and caps enclose housing and die-cast aluminum heat sink. A unique patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP68 rated.

**Optics**  
 Patented, high-efficiency injection-molded AcuLED Optics technology. Optics are precisely designed to shape the distribution maximizing efficiency and optimizing spacing. AcuLED Optics create consistent distributions with the scalability of LED technology.

**Mounting**  
 Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the arm mounting requirement table.

**Electrical**  
 LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90k lumen maintenance exceeded at 60,000 hours. Available in standard 1A drive current and optional 800mA, 800mA and 1200mA drive currents (nominal).

**Finish**  
 Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

**Warranty**  
 Five-year warranty.

**PLC**  
 CERTIFICATION DATA  
 UL/ULC Wet Location Listed  
 ESD SMD  
 5079 / LMSB Compliant  
 90 Wavelength Rated  
 90% Rated  
 Outdoor Light Consortium® Qualified

**ENERGY DATA**  
 Biometric LED Driver  
 3.0:1 Power Factor  
 120V-277V 50/60Hz  
 347V & 480V 60Hz  
 340°C Min. Temperature  
 50°C Max. Temperature  
 50°C Max. Temperature (HA Option)

**STANDARD ARM MOUNTING REQUIREMENTS**

Configuration	90° Apart	120° Apart	2 @ 180°	4 @ 90°
GAN-AF-01	7" Arm (Standard)	7" Arm (Standard)	7" Arm (Standard)	7" Arm (Standard)
GAN-AF-02	7" Arm (Standard)	7" Arm (Standard)	7" Arm (Standard)	7" Arm (Standard)
GAN-AF-03	7" Arm (Standard)	7" Arm (Standard)	7" Arm (Standard)	7" Arm (Standard)
GAN-AF-04	7" Arm (Standard)	7" Arm (Standard)	7" Arm (Standard)	7" Arm (Standard)
GAN-AF-05	12" Extended Arm (Required)			
GAN-AF-06	12" Extended Arm (Required)			
GAN-AF-07	12" Extended Arm (Required)			
GAN-AF-08	12" Extended Arm (Required)			
GAN-AF-09	12" Extended Arm (Required)			
GAN-AF-10	12" Extended Arm (Required)			

**STANDARD WALL MOUNT**  
**MAST ARM MOUNT**

**QUICK MOUNT™ ARM (INCLUDES FIXTURE ADAPTER)**

**QUICK MOUNT™ ARM DATA**

Number of Light Squares**	"A" Width	Weight with QM Arm (lbs.)	Weight with QMEA Arm (lbs.)	EPA (Sq. Ft.)
1-2	16.12" (409mm)	26.17(5.94 kg)	26.17(5.94 kg)	1.11
3-4	21.68" (550mm)	48.02(10.78 kg)	48.02(10.78 kg)	1.11
7-8	27.68" (703mm)	64.25(14.36 kg)	64.25(14.36 kg)	1.11

NOTES: 1. QM option available with 1-2 light square configurations. 2. QMEA option available with 1-2 light square configurations. 3. QMEA arm to be used when mounting two fixtures at 90° on a single pole.

**Site Lighting Notes:**

- All parking lot lights shall be directed away from other properties and/or shielded.
- All wall packs shall be downward directed and shielded from directing light towards neighbors.
- Lightpoles shall have a mounting height of 15'-0".

SCALE: 1" = 20'

PROJECT NUMBER: P-190545  
 DRAWN BY: S.E. Bell  
 ENGINEER: Timothy L. Lapham, P.E., P.S. 27595  
 DATE: April 7, 2020

REVISIONS:

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

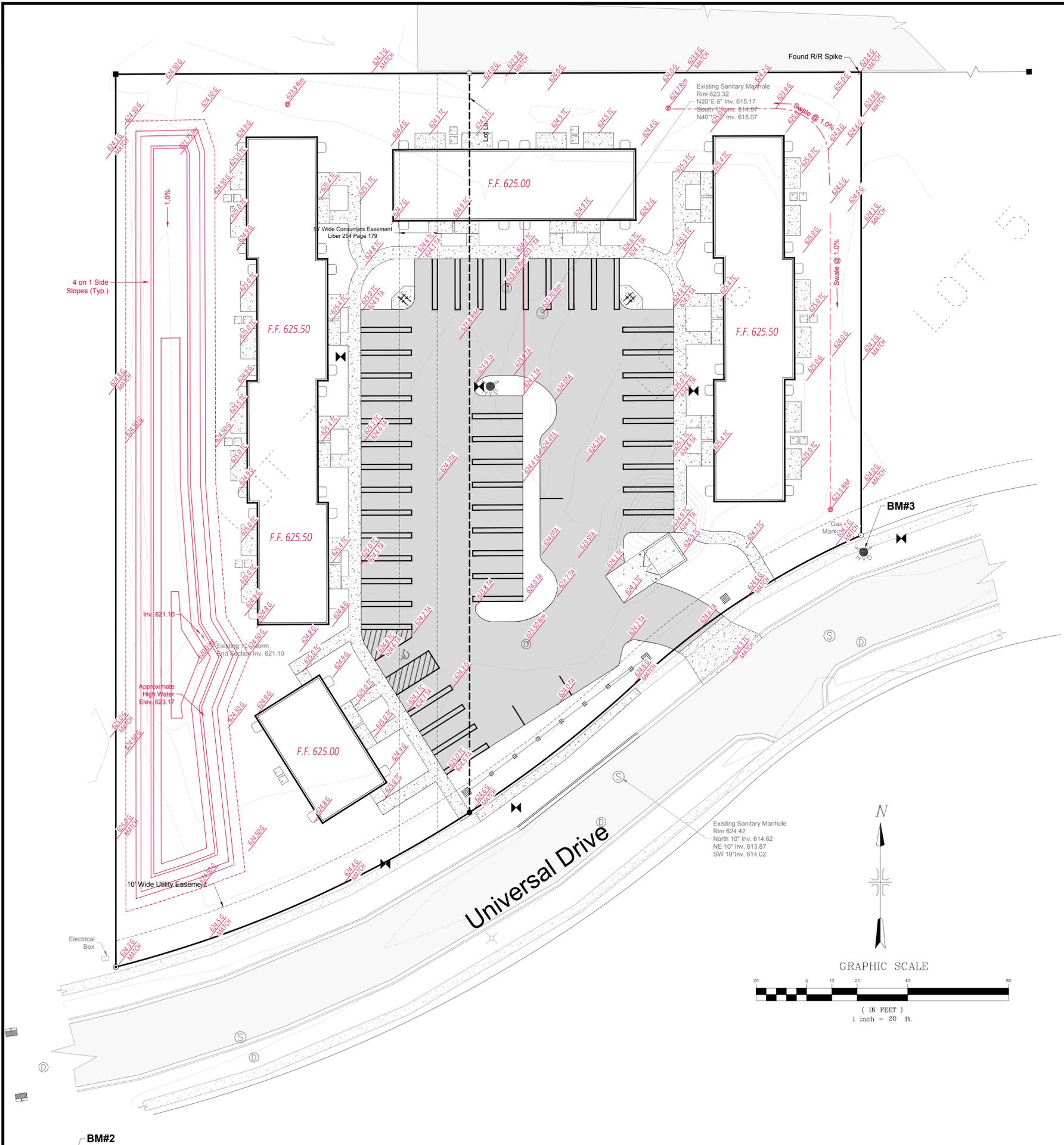
SHEET C-8

**Photometric Plan**  
 Multi-Family Residential Development  
 4912 Universal Dr., Midland, MI 48642  
 For  
 PKP Properties, LLC

**LAPHAM ASSOCIATES SURVEYING**  
 ENGINEERING PLANNING ENVIRONMENTAL  
 116 South 3rd Street  
 West Branch, MI 48661  
 P (888) 345-5030  
 F (888) 345-7302  
 www.laphamassoc.com  
 © 2020 COPYRIGHT, LAPHAM ASSOCIATES  
 UNAUTHORIZED COPYING IS PROHIBITED.

APPROVED USE FOR:  
 PRELIMINARY  
 PERMIT/BID  
 CONSTRUCTION  
 FINAL RECORD

**C-8**



### Grading Notes:

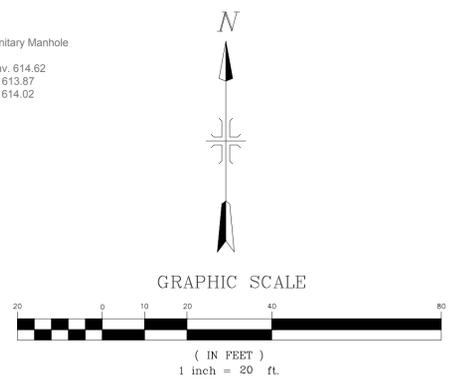
- The forms for concrete sidewalks, curbs, gutters, and driveways that are to be constructed to conform to existing roads shall be installed to the grades shown on these plans. Prior to placing concrete, the forms shall be inspected and approved by local jurisdiction for conformance to existing road improvements. Grades of new improvements are subject to field adjustment to fit conditions.
- The contractor shall be responsible for matching existing facilities to avoid any abrupt or apparent changes in grades or cross slopes, low spots, or hazardous conditions.
- All grading, back filling, excavation, etc., shall be in accordance with the specification or normal practice if not specified.
- Where unstable or unsuitable materials are encountered during subgrade preparation, the area in question shall be over excavated and replaced with engineered backfill material.
- If requested, a representative of the engineer shall be on the site during grading operations and shall observe the construction and identify any conditions that should be corrected and recommend corrective measures to the contractor.
- All grading, erosion, and sediment control and related work undertaken on this site shall be in accordance with local jurisdiction.
- The contractor shall not disturb any permanent survey points without the consent of local jurisdiction. Any points destroyed shall be replaced by a licensed surveyor at the contractor's expense.
- Grading at the boundaries shall be done so as not to obstruct the runoff of storm waters from adjacent properties.
- All disturbed areas shall be topsoiled, seeded, fertilized and mulched.
- Contractor to maintain all soil erosion control measures. Surrounding paved areas shall be power broomed as necessary to remove mud tracking from the site.
- Contractor shall obtain soil erosion permit prior to any construction.
- All structures, sidewalks, curbs and asphalt shall have a minimum of 12" of clean granular material (MDOT Class II) as a sub-base and compacted to 95% maximum unit density. If pumping or yielding is caused by the compactive efforts, the sand layer shall be increased until density can be obtained without pumping water through the subgrade.
- Temporary grading easements from property owners shall be obtained for grading off-site prior to working on adjacent properties.

### Grading & Storm Water Notes:

- Roof Drains shall be connected to drain tiles and either discharge to swales or catch basins.
- All Grades subject to field adjustment.

### LEGEND:

- TP - TOP OF PAVEMENT
- TC - TOP OF CONCRETE
- BC - BACK OF CURB
- GP - GUTTER PAN
- FF - FINISH FLOOR
- G - GROUND
- RIM - RIM ELEVATION
- INV - INVERT ELEVATION
- ELEVATION AT LOCATION
- DIRECTION OF SURFACE FLOW



PROJECT NUMBER: P-190545	SCALE: 1" = 40'
ENGINEER: Timothy L. Lapham, P.E., S. 27395	DRAWN BY: S.E. Beil
REVISIONS:	DATE: April 7, 2020
REVISIONS:	SHEET C-9

**Grading Plan**  
 Multi-Family Residential Development  
 4912 Universal Dr., Midland, MI 48642  
 For  
**PKP Properties, LLC**

**LAPHAM ASSOCIATES SURVEYING**  
 ENGINEERING  
 PLANNING  
 ENVIRONMENTAL  
 SURVEYING  
 116 South 3rd Street  
 West Branch, MI 48661  
 P (989) 345-5030  
 F (989) 345-7302  
 www.laphamassoc.com  
 © 2020 COPYRIGHT LAPHAM ASSOCIATES  
 UNAUTHORIZED COPYING IS PROHIBITED.

APPROVED USE FOR:  
 ● PRELIMINARY  
 ○ PERMIT/BID  
 ○ CONSTRUCTION  
 ○ FINAL RECORD  
**C-9**

**CITY OF MIDLAND STORMWATER SIZING REQUIREMENTS (FROM TR-55 WORKSHEETS):**

Total Contributing Area = 1.877 Acres = 0.00293 sq. mi

Soil Type: C (Loamy Sand -per USDA Soil Survey)  
 Impervious Area = 0.951 Acre x CN 98 = 93.198  
 Pervious Area = 0.926 Acre x CN 79 = 73.154  
 Cumulative Site CN = 166.352/1.877 = 88.62 = 89  
 Design Storm Event = 50-yr Storm  
 Precipitation (P) = 5 inches

$S = 1000/CN - 10 = 1000/89 - 10 = 11.236 - 10 = 1.236$   
 $Runoff (Q) = (P-0.25)^2 = (5 - .2472)^2 = 22.589 = 3.772$  inches  
 $(P+0.85) (5 + .9888) (5 + .9888) = 5.9888$

Time of Concentration = 10 Minutes minimum = 0.1667  
 Initial Abstraction (Ia) (from Table 4-1) = 0.247  
 $Ia / P = .247 / 5 = 0.0494$  (Use Minimum Ia/P = 0.10)

Unit Peak Discharge ( $Q_u$ ) (from Exhibit 4-II) = 875  
 Peak Inflow Discharge ( $Q_i$ ) =  $Q_u \cdot A \cdot Q = 875 \times 0.00293 \times 3.772 = 9.670$  cfs  
 Peak Outflow Discharge ( $Q_o$ ) = Limited to 0.2 cfs/acre = 1.877 acres x 0.2 cfs/acre = 0.375 cfs  
 $Q_u/Q_i = 0.375 / 9.67 = 0.0388$  (Use Minimum  $Q_u/Q_i = 0.1$ )  
 Actual Release Rate (cfs):  $C \times A \times (2gh)^{0.5}$   
 Orifice Coefficient (C) = 0.6  
 Depth to Orifice (h) = 623.50 - 619.15 = 4.35'  
 Gravitational Constant = 32.2

Utilizing the Maximum Allowable and Solving for the Area of Orifice (A):  
 $A = (0.375 / 0.6) / 16.74 = 0.0373$  sq. ft.  
 Diameter = 0.218 ft = 2.6"

$V_s/V_r$  (Extrapolated From Figure 6-1 and utilizing  $Q_u/Q_i$  and  $T_c$ ) = 0.6  
 Volume Runoff (Vr) =  $Q \times A \times 53.33 = 3.772 \times 0.00293 \times 53.33 = 0.602$  Ac-ft  
 Volume Storage (Vs) =  $V_r (V_s/V_r) = 0.602 \times 0.6 = 0.3612$  Ac-ft = 15,734 cu. ft.

Storage Volume Provided = 16,000 cu. ft. > 15,734 cu. ft.

ELEV	AREA (sq. ft.)	DEPTH (ft)	AVG END INC. VOL. (cu. ft.)	AVG END TOTAL VOL. (cu. ft.)
620	297	N/A	0	0
621	2373	1.0	1335	1335
621.75	4681	0.75	2645	3,980
622	5291	0.25	1247	5,227
623.00	7813	1.0	6552	11,779
623.50	9122	0.5	4234	16,013

Freeboard Elevation = 624.50

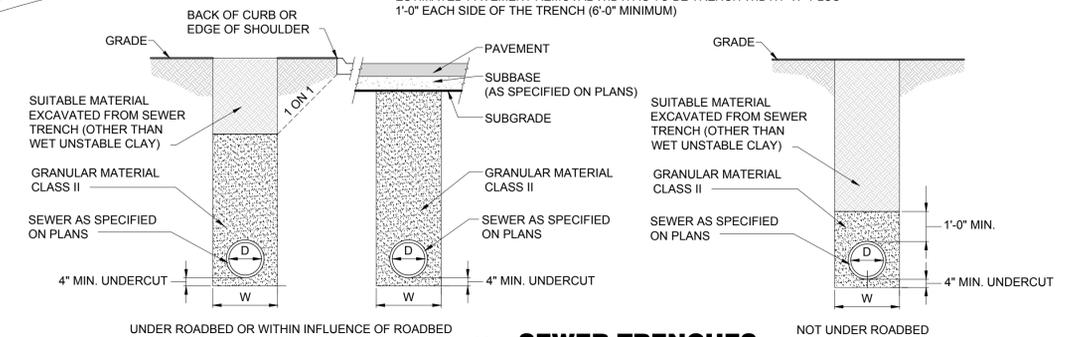
**MINIMUM TRENCH WIDTHS**

I.D. PIPE SIZE (INCHES)	LESS THAN 18	21	24	30	36
"W" TRENCH WIDTH (FEET)	3.0	3.5	4.0	5.0	6.0

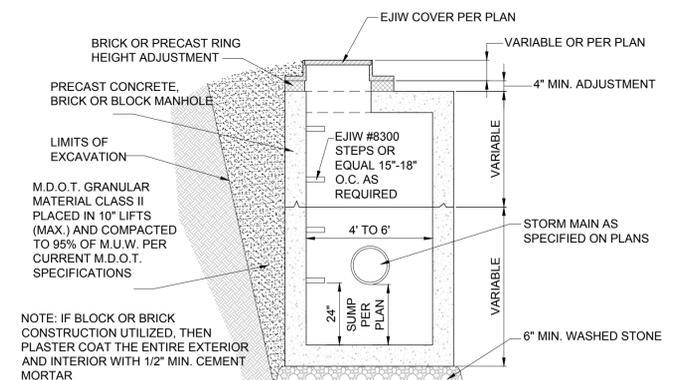
I.D. PIPE SIZE (INCHES)	42	48	54	60	66	72
"W" TRENCH WIDTH (FEET)	7.0	8.0	9.5	10.0	10.5	11.0

I.D. PIPE SIZE (INCHES)	78	84	90	96	102	108
"W" TRENCH WIDTH (FEET)	11.5	12.0	12.5	13.0	13.5	14.0

ESTIMATED PAVEMENT REMOVAL WIDTH IS TO BE TRENCH WIDTH "W" PLUS 1'-0" EACH SIDE OF THE TRENCH (6'-0" MINIMUM)



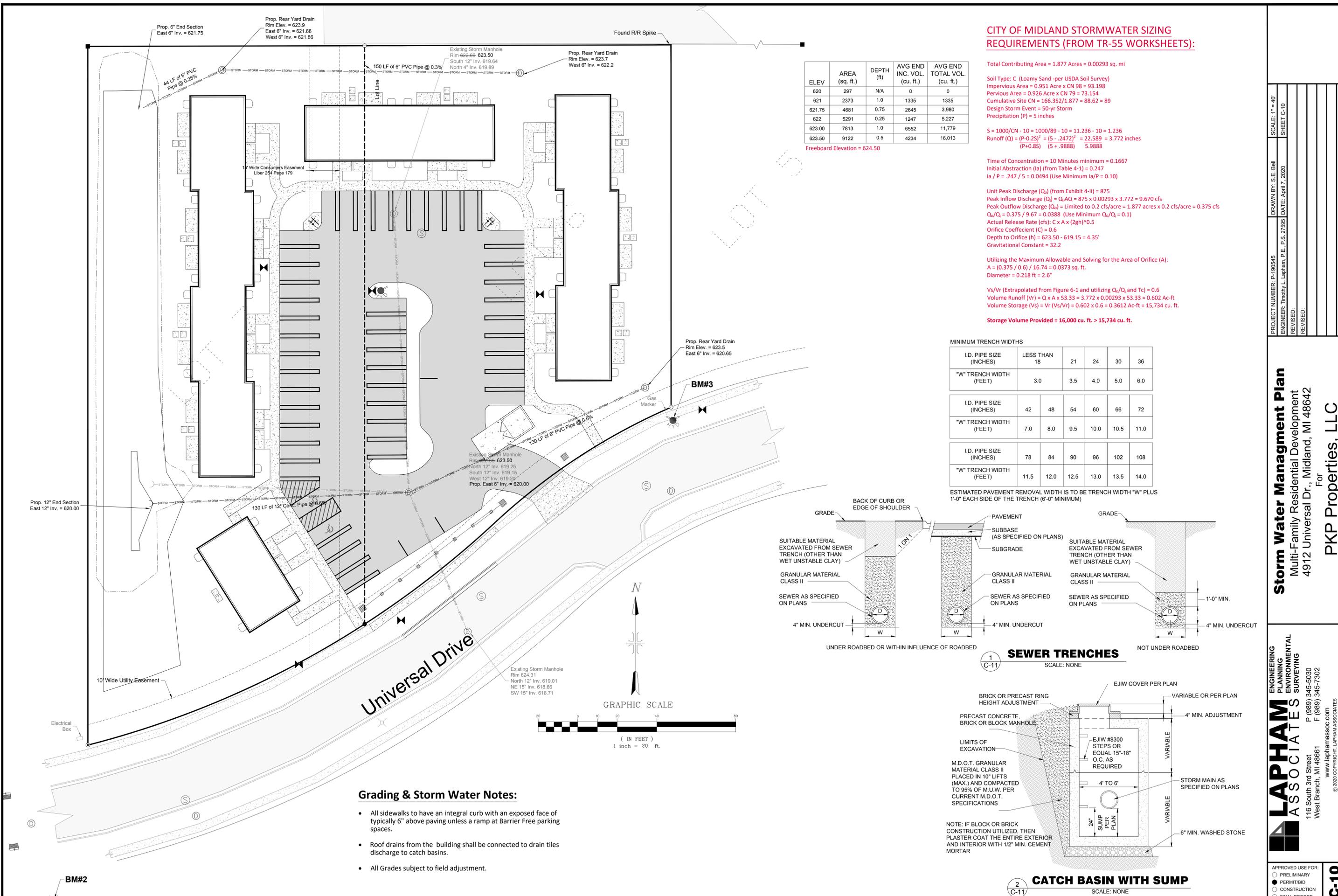
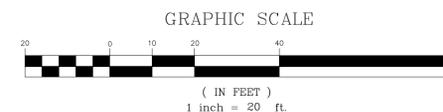
**1 SEWER TRENCHES**  
 SCALE: NONE



**2 CATCH BASIN WITH SUMP**  
 SCALE: NONE

**Grading & Storm Water Notes:**

- All sidewalks to have an integral curb with an exposed face of typically 6" above paving unless a ramp at Barrier Free parking spaces.
- Roof drains from the building shall be connected to drain tiles discharge to catch basins.
- All Grades subject to field adjustment.

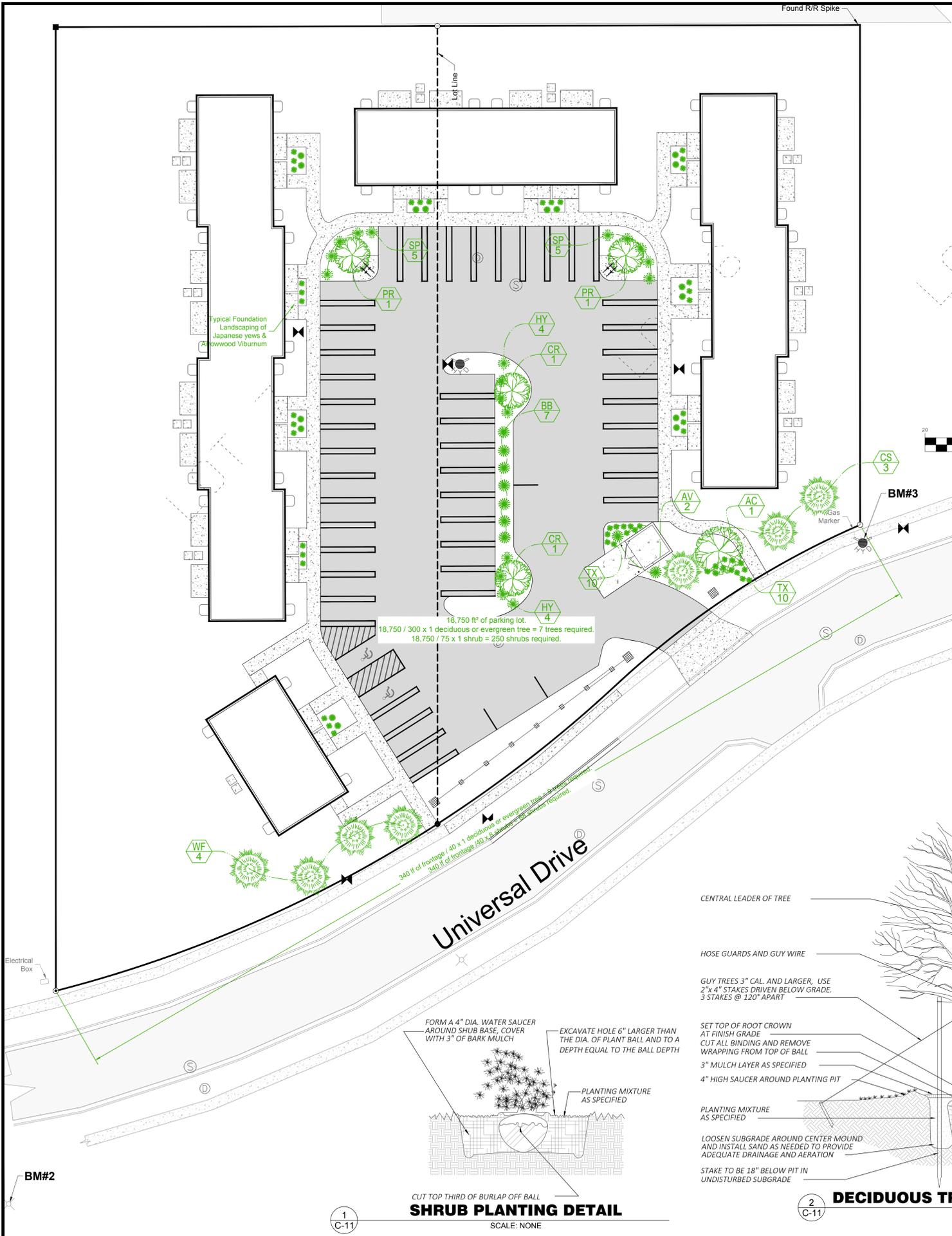


PROJECT NUMBER: P-190545  
 ENGINEER: Timothy L. Lapham, P.E., P.S. 27595  
 DRAWN BY: S.E. Bell  
 DATE: April 7, 2020  
 SCALE: 1" = 40'  
 SHEET C-10

**Storm Water Management Plan**  
 Multi-Family Residential Development  
 4912 Universal Dr., Midland, MI 48642  
 For  
**PKP Properties, LLC**

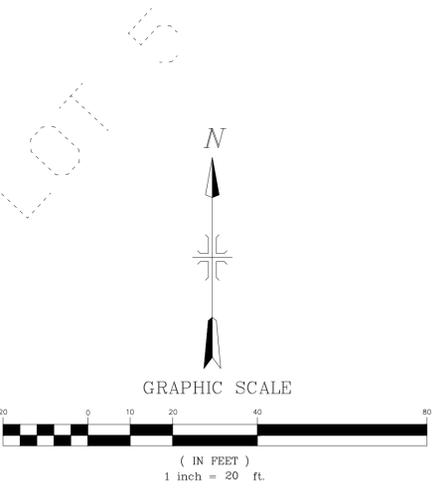
**LAPHAM ASSOCIATES**  
 ENVIRONMENTAL SURVEYING  
 116 South 3rd Street  
 West Branch, MI 48661  
 P (989) 345-5030  
 F (989) 345-7302  
 www.laphamassoc.com  
 © 2020 COPYRIGHT, LAPHAM ASSOCIATES  
 UNAUTHORIZED COPYING IS PROHIBITED.

APPROVED USE FOR:  
 PRELIMINARY  
 PERMIT/ID  
 CONSTRUCTION  
 FINAL RECORD  
**C-10**



**Landscaping Notes:**

1. Landscaping contractor shall verify the locations of all underground utilities prior to construction. Contact miss dig a minimum of 3 working days prior to commencing work. (800) 482-7171
2. Landscaping contractor to confirm and provide all quantities and varieties of plants & other landscaping materials with bid. All plant substitutions shall be approved by the engineer.
3. Precautions shall be taken to preserve existing vegetation as reasonably practical. New trees indicated on the drawing may be omitted if existing trees are located in a reasonable proximity to the indicated new locations. All existing trees to remain shall be of sound health.
4. Landscape contractor shall finish grade and clean topsoil of large stones, branches, and debris, and fill and compact holes in seeded & sod areas. Grading contractor is responsible to replace topsoil and rough grade areas as necessary.
5. All proposed lawn areas and other areas that were disturbed by construction shall receive a minimum of 4 inches of topsoil and a lawn seed mix base indicated.
6. Landscape contractor shall fill plant beds with 6" of a planting soil mixture of 25% existing soil, 50% topsoil & 25% peat moss, with further amendments according to specifications.
7. Planting shall be edged with 4" plastic or metal edging as indicated where necessary and staked in place every 2-4 feet.
8. All plant and tree beds to be mulched with 3" of hardwood bark chips, except where indicated, all trees and shrubs to have positive drainage.
9. The contractor will be responsible to replace all trees damaged by his negligence or actions. Prune all dead and broken branches from all plants immediately after installation.
10. Required landscaping material shall satisfy American Assoc. of Nurserymen standards and be:
  - A. Nursery grown
  - B. State department of agriculture inspected
  - C. No. 1 grade with straight unscarred trunks and well developed uniform crown
  - D. Guaranteed for (1) year
11. Contractor shall strip, save and replace the topsoil on the site. Soils need to be tested and amended as necessary.



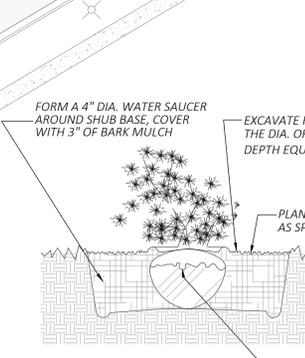
Area	Statutory Trees	Required	Proposed
General Site Landscaping	1 deciduous or evergreen tree per 3,000ft <sup>2</sup>	81,763ft <sup>2</sup> / 3,000ft <sup>2</sup> = 27 trees <sup>1</sup>	1 Amur Maple 3 Colorado Spruce 4 White Fir 2 Red Flowering Crab 2 Bradford Pear <b>Total 12 trees proposed</b>
Landscaping Adjacent to Roads	8 shrubs per 40 lf. frontage	340lf frontage / 40-9 = 9x8 shrubs = 68 shrubs <sup>2</sup>	10 Japanese Yews
	1 deciduous or evergreen tree per 40 lf. frontage	340lf frontage / 40-9 = 9x1 tree = 9 trees <sup>2</sup>	1 Amur Maple 3 Colorado Spruce 4 White Fir
Green Belts	N/A	N/A	N/A
Parking Lot	20ft <sup>2</sup> per parking space	51 Spaces x 20ft <sup>2</sup> = 1,020ft <sup>2</sup>	Proposed parking island contains 1,115ft <sup>2</sup> with additional landscaped islands.
	1 deciduous tree per 300 ft <sup>2</sup>	18,750ft <sup>2</sup> / 300 = 7 trees <sup>4</sup>	2 Red Flowering Crab 2 Bradford Pear
	1 deciduous shrub per 75 ft <sup>2</sup>	18,750ft <sup>2</sup> / 75 = 250 shrubs <sup>5</sup>	41 Japanese Yews 8 Oakleaf Hydrangea 10 Spiraea 7 Burning Bush 20 Arrowwood Viburnum

**Landscaping Schedule:**

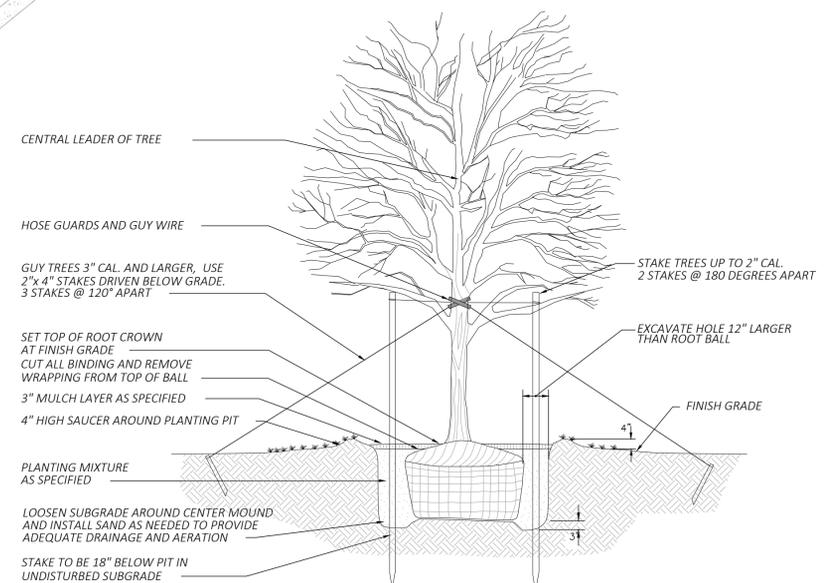
QUANTITY	SYM.	COMMON (BOTANICAL) NAME	SIZE
1	AC	Amur Maple ( <i>Acer ginnala</i> )	2-1/2" Cal.
3	CS	Colorado Spruce ( <i>Picea pungens</i> )	6' Height
4	WF	White Fir ( <i>Abies concolor</i> )	6' Height
2	CR	Red Flowering Crabapple ( <i>Mallus sp.</i> )	2-1/2" Cal.
2	PR	Bradford Pear ( <i>Pyrus calleryana</i> 'Bradford')	2-1/2" Cal.
51	TX	Japanese Yew ( <i>Taxus cuspidata</i> 'densa')	18-24" High
8	HY	Oakleaf Hydrangea ( <i>Hydrangea 'quercifolia'</i> )	2-3' High
10	SP	Spiraea ( <i>Bumalda 'firelight' spiraea</i> )	2-3' High
7	BB	Dwarf Burning Bush ( <i>Euonymus alatus 'Compactus'</i> )	2-3' High
20	AV	Arrowwood Viburnum ( <i>Viburnum dentatum</i> )	2-3' High

<sup>1</sup> Reduction in total number of trees requested for existing trees that are proposed to remain around perimeter on site.  
<sup>2</sup> Proposed decorative fence proposed in lieu of trees and shrubs in front yard adjacent to roadway.  
<sup>3</sup> Reduction requested for 1 tree justified by existing trees that will remain along the roadway.  
<sup>4</sup> Reduction in trees requested because of space restraints in parking lot area and with adjacent road trees are duplicated in parking lot total.  
<sup>5</sup> Reduction in shrubs requested because of space requirements and such a large number required.

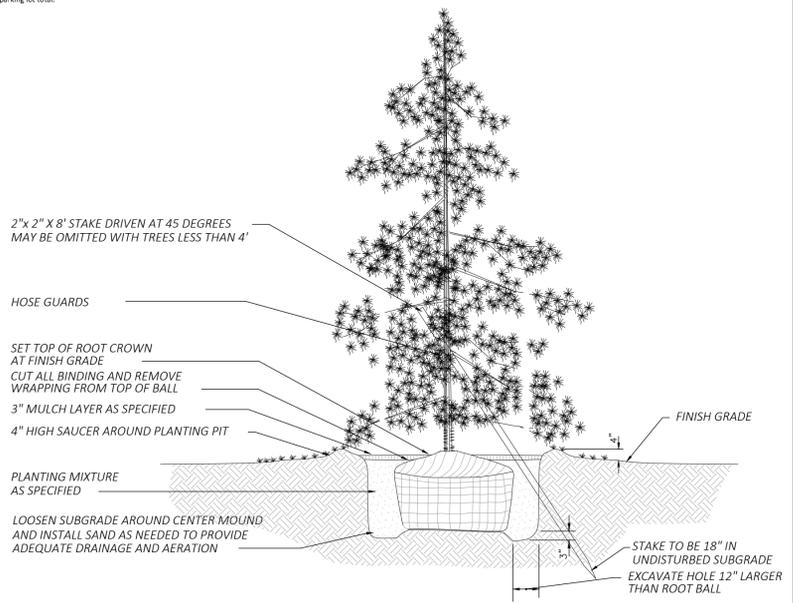
18,750 / 300 x 1 deciduous or evergreen tree = 7 trees required.  
 18,750 / 75 x 1 shrub = 250 shrubs required.



**SHRUB PLANTING DETAIL**  
SCALE: NONE



**DECIDUOUS TREE PLANTING DETAIL**  
SCALE: NONE



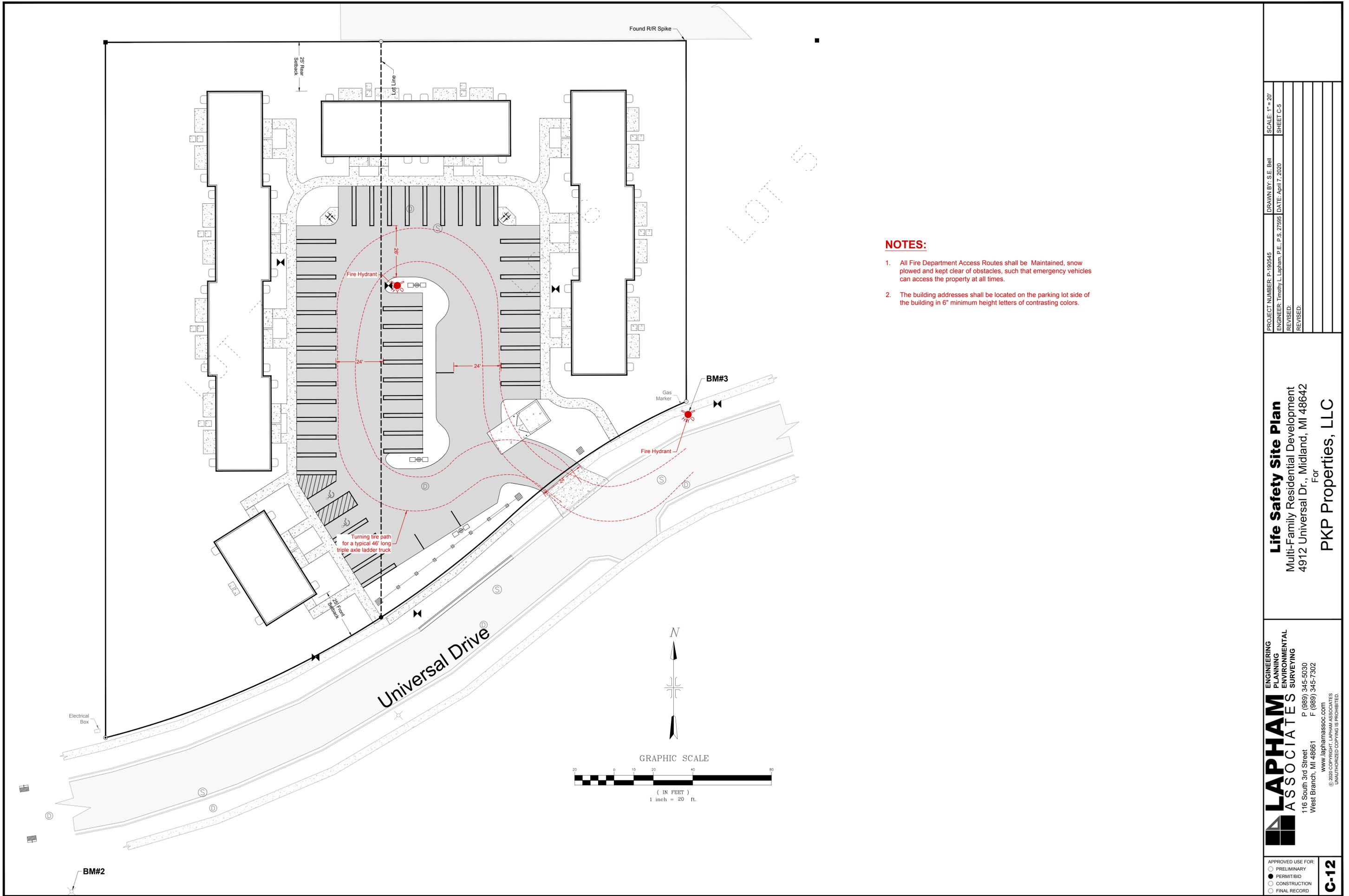
**EVERGREEN TREE PLANTING DETAIL**  
SCALE: NONE

SCALE: As Shown  
SHEET C-11  
PROJECT NUMBER: P-190545  
ENGINEER: Timothy L. Lapham, P.E., S. 27395  
DRAWN BY: S.E. Bell  
DATE: April 7, 2020  
REVISOR:  
REVISED:

**Landscaping Plan**  
Multi-Family Residential Development  
4912 Universal Dr., Midland, MI 48642  
For  
PKP Properties, LLC

**LAPHAM ASSOCIATES SURVEYING**  
ENGINEERING PLANNING ENVIRONMENTAL  
116 South 3rd Street  
West Branch, MI 48661  
P (989) 346-5030  
F (989) 345-7302  
www.laphamassoc.com  
© 2020 COPYRIGHT LAPHAM ASSOCIATES  
UNAUTHORIZED COPYING IS PROHIBITED.

APPROVED USE FOR:  
 ● PRELIMINARY  
 ● PERMIT/BID  
 ○ CONSTRUCTION  
 ○ FINAL RECORD  
**C-11**



**NOTES:**

1. All Fire Department Access Routes shall be Maintained, snow plowed and kept clear of obstacles, such that emergency vehicles can access the property at all times.
2. The building addresses shall be located on the parking lot side of the building in 6" minimum height letters of contrasting colors.

PROJECT NUMBER: P-190545	DRAWN BY: S.E. Bell	SCALE: 1" = 20'
ENGINEER: Timothy L. Lapham, P.E., P.S. 27595	DATE: April 7, 2020	SHEET C-5
REVISED:		
REVISED:		

**Life Safety Site Plan**  
 Multi-Family Residential Development  
 4912 Universal Dr., Midland, MI 48642  
 For  
**PKP Properties, LLC**

**LAPHAM ASSOCIATES**  
 ENGINEERING  
 PLANNING  
 ENVIRONMENTAL  
 SURVEYING  
 116 South 3rd Street  
 West Branch, MI 48661  
 P (989) 345-5030  
 F (989) 345-7302  
 www.laphamassoc.com  
 © 2020 COPYRIGHT, LAPHAM ASSOCIATES  
 UNAUTHORIZED COPYING IS PROHIBITED.

APPROVED USE FOR:  
 ○ PRELIMINARY  
 ● PERMIT/BID  
 ○ CONSTRUCTION  
 ○ FINAL RECORD  
**C-12**



