

AGENDA

REGULAR MEETING OF THE MIDLAND CITY PLANNING COMMISSION,
TO TAKE PLACE ON TUESDAY, MAY 12, 2020 7:00 P.M.

This meeting will be held electronically due to the COVID-19 pandemic.

The meeting will be broadcasted live on ATT U-Verse Channel 99; MGTV Channel 188 and online at Cityofmidlandmi.gov/video

To join via videoconference, go to:
<https://zoom.us/join> | **Webinar ID:** 869 7592 7298 | **Password:** 411746

To join via telephone, dial:
+1 (312) 626-6799 or +1 (646) 558-8656 | **Webinar ID:** 869 7592 7298 | **Password:** 411746

MEETING AGENDA:

1. **Call to Order**
2. **Roll Call**
3. **Approval of the Minutes**
 - a. [Regular Meeting – April 28, 2020](#)
4. **Public Hearings**

Public Hearing Process

 1. Staff presentation and overview of petition
 2. Petitioner presentation
 3. Public comments in support of the petition
 4. Public comments in opposition to the petition
 5. Opportunity for petitioner rebuttal and final comments
 6. Closing of public hearing
 7. Deliberation and possible decision by Planning Commission
5. **Old Business**
 - a. [Site Plan No. 399](#) - initiated by PKP Properties, LLC for site plan review and approval of a 22-unit multiple family residential development, totaling 50,688 square feet, located at 4908 and 4912 Universal Drive.
6. **Public Comments (unrelated to items on the agenda)**
7. **New Business**
8. **Communications**
9. **Report of the Chairperson**
10. **Report of the Planning Director**
11. **Items for Next Agenda – May 26, 2020**
 - a. **Zoning Text Amendment No. 161 – Amendments to the Site Plan Review Process**
12. **Adjournment**

**MINUTES OF THE REGULAR MEETING OF THE
MIDLAND CITY PLANNING COMMISSION,
TO TAKE PLACE ON TUESDAY, APRIL 28, 2020 7:00 P.M.
MEETING HELD ELECTRONICALLY DUE TO THE COVID-19 PANDEMIC**

1. The meeting was called to order at 7:00 p.m. by Chairman Mayville.
2. The Pledge of Allegiance was not recited by the members of the Commission due to the electronic format.
3. Roll Call

PRESENT: Bain, Mayville, Heying, Koehlinger, Sajbel, Broderick, Hanna and Rodgers

ABSENT: Pnacek

OTHERS PRESENT: Grant Murschel, Director of Planning & Community Development; Tadd Underhill, Manager of Information Service (meeting host); and four (4) others.

4. **Approval of Minutes**

Heying made a motion to approve the minutes of the regular meeting of April 14, 2020, seconded by Hanna. Vote on the motion:

Yeas: Bain, Mayville, Heying, Koehlinger, Sajbel, Broderick, Hanna and Rodgers

Nays: None

Motion carries 8-0.

5. **Public Hearings**

6. **Old Business**

- a. **Site Plan Review Process** – Murschel gave an overview of the proposed changes to the Site Plan Review Process as presented in the staff memo. This follows the directive by City Council from January.

The Commission discussed the proposed changes to the site plan review process, following on previous discussions earlier in the year. Changes to the administrative review, an appeals process and amendments to the bylaws were reviewed. Murschel indicated that if consensus was reached on the nature of the changes, a public hearing on a proposed text amendment would be scheduled for May 26, 2020.

7. **Public Comments** (unrelated to items on the agenda) – None.
8. **New Business** – None.
9. **Communications** – None.
10. **Report of the Chairperson**

11. Report of the Planning Director

Murschel indicated that Site Plan No. 399 has been sent back by City Council for further review and public input opportunity for the May 12 meeting.

12. Items for Next Agenda – May 12, 2020

a. **Site Plan No. 399** – Danbury Place

13. Adjournment

It was moved by Hanna and seconded by Rodgers to adjourn at 7:46 pm

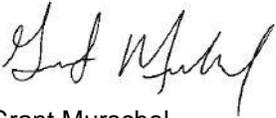
Vote on the motion:

Yeas: Bain, Mayville, Heying, Koehlinger, Sajbel, Broderick, Hanna and Rodgers

Nays: None

Motion carries 8-0.

Respectfully submitted,



Grant Murschel
Director of Planning & Community Development

MINUTES ARE NOT FINAL UNTIL APPROVED BY THE PLANNING COMMISSION

Memo



To: Midland City Planning Commission
From: Grant Murschel
Director of Planning & Community Development
Date: May 8, 2020
Re: SP #399 Danbury Place – Second Review

During their meeting on Monday, April 27, 2020, the City Council voted (3-2) to send Site Plan No. 399 back for review by the Midland City Planning Commission to allow for further public comment. As such, staff has scheduled this review to take place during the meeting of May 12, 2020.

ADDITIONAL PUBLIC INPUT OPPORTUNITY

Since the action by City Council, staff mailed courtesy notices to the 570 properties, owners and occupants, which are located within 300 feet of the subject properties; this mailing was conducted on April 29, 2020. The letters, enclosed for reference, advertised another opportunity for public comment during the May 12 Planning Commission meeting and gave instructions on how to participate in the virtual meeting.

It should be noted that since early April, the City is required to hold meetings virtually, that would usually be conducted in person at City Hall, due to the ongoing COVID-19 pandemic. Virtual meetings have been authorized by Executive Order of the Michigan Governor.

FURTHER INFORMATION BY APPLICANT

Since the Planning Commission's last review of the site plan on April 14, 2020, the applicant has provided further information to satisfy the City's objective requirements. At the time of April 14, the site plan required a revised photometric plan and a revised landscaping plan. Staff has received each of these revised drawings and has verified that they both meet the City's requirements. The revised photometric and landscaping plans are enclosed for review.

The applicant has also submitted the detailed stormwater management plans to the City Engineering Department, a detailed review that customarily takes place after the site plan is approved. The Engineering Department has reviewed the plans and provided comments back to the applicant. Only minor revisions are needed before the stormwater plan/permit can be approved.

Similarly, the applicant has also provided full details for the soil erosion and sedimentation control permit to the City Building Department. Details of this nature are usually provided after a site plan is approved. Building Department staff will review these plans at the time of building plan review, if the site plan is approved.

ADDITIONAL PUBLIC COMMENTS

Since April 27, staff has received thirteen (13) additional written comments, all in opposition to the site plan. These comments have been enclosed for review.

PLANNING COMMISSION ACTION

As articulated in the original staff report and during the meeting on April 14, Site Plan No. 399 proposed a permitted use by right, which is subject to special standards. Article 27.00 of the City's Zoning Ordinance

outlines the process and criteria under which the review of a proposed use by right must take place. This is an objective review process and does not provide for subjectivity.

Following further review and consideration of the revised drawings against the City's ordinances, special standards for multiple-family residential, fire code, building code, and all other applicable requirements, staff maintains its support of the site plan meeting the City's objective criteria. However, it should be noted that action to recommend approval would only be appropriate with the following contingencies:

1. A final stormwater management plan and permit to the satisfaction of the City Engineering Department.
2. A final soil erosion and sedimentation control permit to the satisfaction of the City Building Department.

Staff anticipates the Planning Commission will formulate a recommendation to City Council during its regular meeting on May 12, 2020. If this action takes place, we anticipate City Council to consider the site plan and the Planning Commission recommendation during its regular meeting on May 18, 2020. Please note that these dates are merely preliminary and may be adjusted due to Planning Commission action and City Council agenda scheduling.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read "Grant Murschel". The signature is written in a cursive, flowing style.

Grant Murschel
Director of Planning & Community Development

Danbury Place

Prepared For

PKP Properties, LLC

Section 6, T.14N., R.2E., City of Midland, Midland County, Michigan

SITE ADDRESS: 4912 Universal Dr., Midland, MI 48642

Property Description:

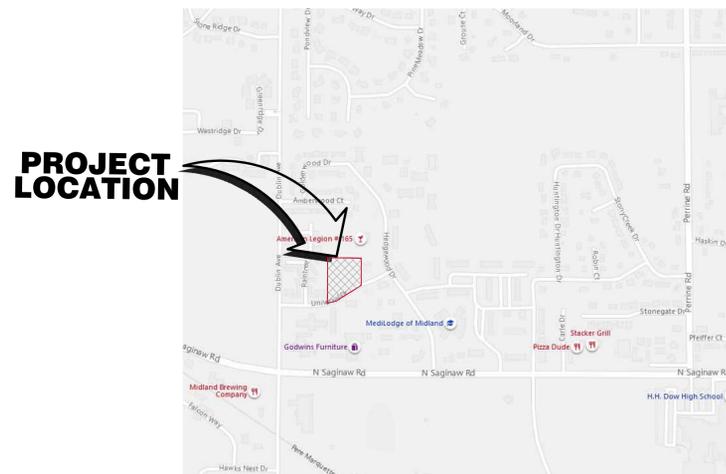
Lots 6 & 7 of Hedgewood Subdivision No. 1, City of Midland, Midland County, MI

Sheet Index:

- C-1 Cover Sheet
- C-2 General Notes
- C-3 Topographic Survey
- C-4 Demolition Plan
- C-5 Site Plan
- C-6 Site Details
- C-7 Utility Plan
- C-8 Photometric Plan
- C-9 Grading Plan
- C-10 Storm Water Management Plan
- C-11 Landscaping Plan
- C-12 Life Safety Site Plan
- C-13 SESC Plan (not included in Site Plan submittal)
- C-14 SESC Key (not included in Site Plan submittal)
- C-15 Specifications (not included in Site Plan submittal)
- C-16 Specifications (not included in Site Plan submittal)
- City of Midland Standard Details (not included in Site Plan submittal)

Submission Table:

- February 25, 2020 Submit initial preliminary site plans to the City of Midland for their review. **These plans are not to be used for construction.**
- April 7, 2020 Revised site plans per the City of Midland site plan review comments. **These plans are not to be used for construction.**
- April 21, 2020 Revised site plans for the City of Midland engineering plan review. **These plans are not to be used for construction.**



LOCATION MAP
N.T.S.



PROJECT NUMBER: P-190545	SCALE: N/A
ENGINEER: Timothy L. Lapham, P.E., P.S. 27895	SHEET: C-1
REVISOR: April 21, 2020 for Engineering Review	
DATE: April 7, 2020	
DRAWN BY: S.E. Bell	

Cover Sheet
Multi-Family Residential Development
4912 Universal Dr., Midland, MI 48642
For
PKP Properties, LLC

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C-1

NOTE SHEET

OTHER NOTES

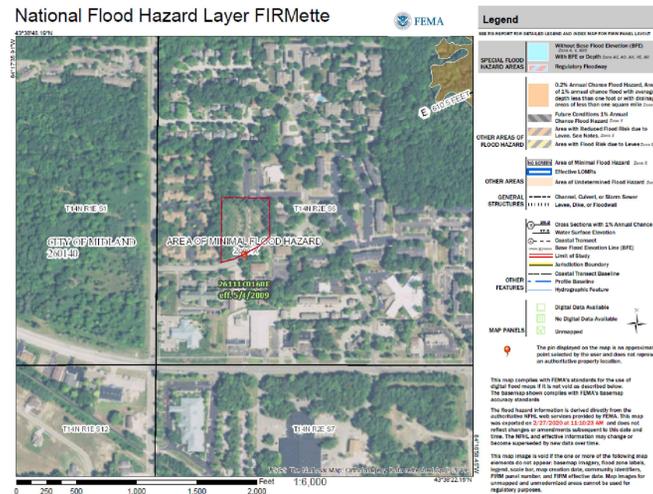
- EXTENSION OF PUBLIC UTILITIES:** All public sanitary sewer and/or water main **SHALL** be extended to the fullest limits of the property, including corner lots, with the pipe size and material approved by the owning municipality. This is necessary for plan approval. For water service of 1" or less or a building on a corner lot, the requirements to extend the public water main and/or sanitary sewer along both property lines will be reviewed.
- SOIL EROSION:** The DEVELOPER shall submit a detailed Soil Erosion and Sedimentation Control plan and obtain an Act 451 Part 91, Soil Erosion and Sedimentation Control permit. This includes the payment of fees and the providing of necessary bonds. **No earth changes or excavation shall be started prior to the issuance of this permit.** The DEVELOPER shall protect all existing and proposed storm sewer facilities on and adjacent to the site during excavation and construction. All sediment shall be contained on site. Any silt in county drains, storm sewer, culverts, etc. as a result of this project, shall be removed by the DEVELOPER at the cost of the DEVELOPER.
- FLOOD PLAIN OR WETLAND CONSTRUCTION:** The DEVELOPER shall apply to the Michigan Department of Environment Great Lakes and Energy (EGLE) for a permit for the alteration and/or occupation of a flood plain or floodway, as required under PA 451. Evidence of this permit may be required prior to plan approval.
- NPDES STORM WATER DISCHARGE PERMIT:** The owner of the property shall obtain a NPDES Storm Water Discharge permit for construction activities from EGLE as required under Public Act 451. The notice of coverage form shall be submitted with the Soil Erosion Control permit application. All EGLE fees shall accompany the Notice of Coverage.
- ROAD PERMIT:** The DEVELOPER shall obtain a permit from the City to perform work within the road Right-of-Way. All fees for the permit, bonds and insurances are the responsibility of the developer.
- MUNICIPALITY SANITARY SEWER AND WATER PERMIT:** Prior to the issuance of a building permit by the local municipality, the developer may be required to obtain a sanitary sewer and/or water tap-in permit from the owning municipality.
- STATE CONSTRUCTION PERMITS:** The sanitary sewer and water main construction permits from the Michigan Department of Environment Great Lakes and Energy shall be submitted to the EGLE after approval local municipality. Construction shall not begin until these state permits are issued.
- UTILITY WARNING -** Underground locations as shown on the plans were obtained from utility owners, and were not field located. A minimum of three (3) working days prior to beginning construction, the contractor shall notify "MISS DIG" (800-482-7171) and have all underground utilities staked before any work may begin. The contractor shall be responsible for the protection and/or relocation of all utilities that may interfere with construction. Three (3) Working Days Before You DIG - Call MISS DIG (1-800-482-7171).

NRCS SOILS MAP

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
Kg	Kingsville loamy fine sand	2.8	97.3%
PsB	Pipestone sand, Erie-Huron Lake Plain, 0 to 3 percent slopes	0.1	2.7%
Totals for Area of Interest		2.8	100.0%



FEMA FLOOD MAP



BENCHMARKS

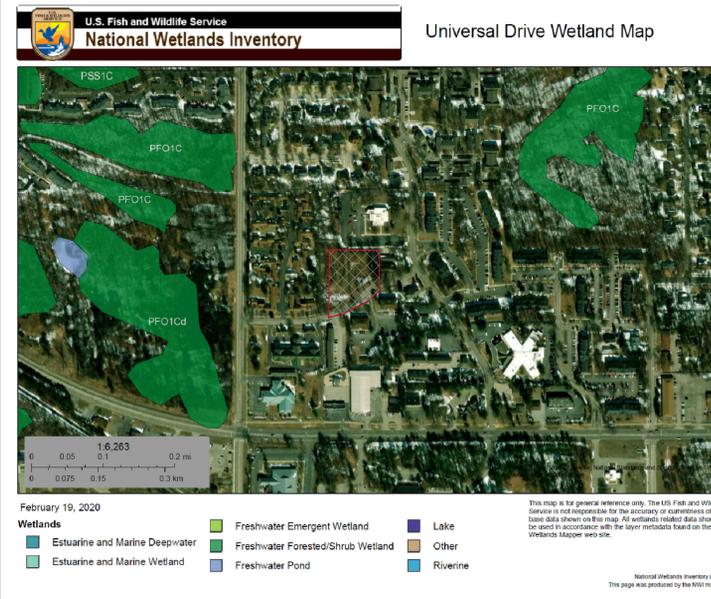
Benchmark #1
Top of hydrant on north side of Universal Drive 200± west of Hedgewood Drive.
NAVD 83 datum Elev. = 627.23 (City of Midland datum 629.11)

Benchmark #1
Top of Screw & tag in lightpole on south side of Universal Drive south of west property line.
NAVD 83 datum Elev. = 626.85 (City of Midland datum 628.73)

PLAN LEGEND

- ELECT— = OVERHEAD ELECTRIC LINE
- GAS—GAS— = BURIED GAS LINE
- SAN—SAN— = SANITARY SEWER
- WATER— = WATER MAIN
- UG TELE— = UNDERGROUND TELEPHONE
- ⊙ = SANITARY MANHOLE
- ⊙ = STORM MANHOLE
- ⊙ = CATCH BASIN
- ⊙ = CURB INLET
- ⊙ = FIRE HYDRANT
- ⊙ = WATER VALVE
- ⊙ = LIGHT POLE
- ⊙ = STREET SIGN
- ⊙ = FENCE LINE
- ⊙ = UTILITY POLE
- ⊙ = FOUND CAPPED IRON
- ⊙ = SET CAPPED IRON
- ⊙ = BITUMINOUS PAVING
- ⊙ = CONCRETE PAVING OR WALKWAY
- ⊙ = PLS SYSTEM CORNER
- R = RECORDED AS IN TITLE DESCRIPTION
- P = PREVIOUSLY DESCRIBED
- M = MEASURED AS
- ⊙ = PROPOSED LIGHT POLE

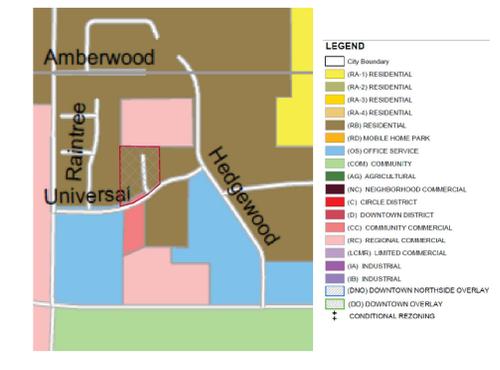
WETLAND MAP



ABBREVIATIONS

LIST OF ABBREVIATIONS	Definitions
A.C.	Alternating Current
A.F.C.	Adult Foster Care
ASPH.	Asphalt Paving
ASTM	American Society of Testing Materials
AWS	American Welding Society
AWWA	American Waterworks Association
BLDG.	Building
CIP	Compacted in place
CL	Class
CONC.	Concrete
C.Yd. or CYD	Cubic Yard
DR	Dimension Ratio
°	Degrees
EA	Each
EJ	East Jordan Iron Works
ELEV.	Elevation
EX	Existing
F.F.	Finish Floor
G.P.M.	Gallons Per Minute
I.Q.	Inside Diameter
Inv.	Invert
Lbs.	Pounds
LFT	Lineal Feet
L.S.	Lump Sum
Max.	Maximum
MDOT	Michigan Department of Transportation
M.H.	Manhole
Mil.	Millimeter
Min.	Minimum
MUW	Maximum Unit Weight at optimum moisture content
No.	Number
NSF	National Sanitation Foundation
OSHA	Occupational Safety Health Administration
PSIGP	Pounds per square inch gauge
PVC	Polyvinyl Chloride
R.O.W. or R/W	Right-of-Way
RAD.	Radius
SDR	Standard Dimension Ratio
SYD	Square Yard
T.D.H.	Total Dynamic Head
V.L.F.	Vertical Lineal Feet
'	Minutes of angles or Feet
"	Seconds of angles or Inches
%	Percent
#	Pounds

ZONING MAP

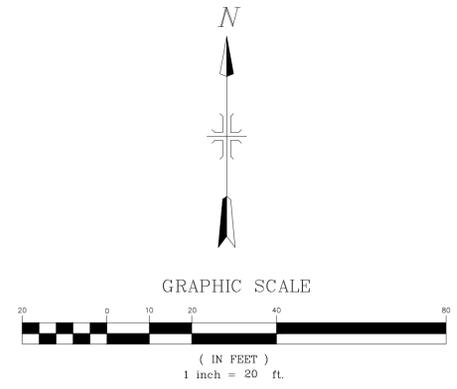
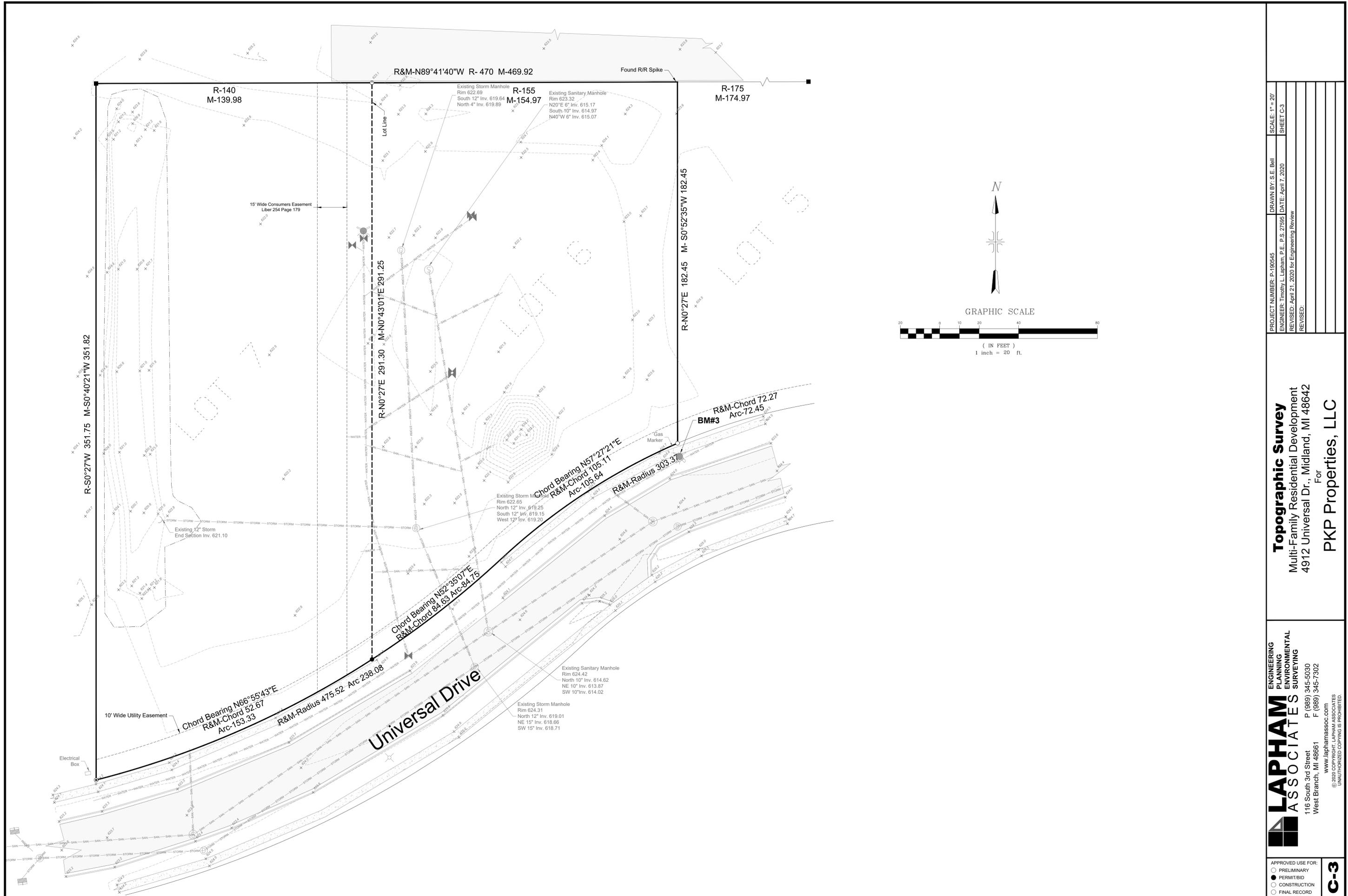


General Notes
Multi-Family Residential Development
4912 Universal Dr., Midland, MI 48642
For
PKP Properties, LLC

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PROJECT NUMBER: P-190545
ENGINEER: Timothy L. Lapham, P.E., P.S. 27585
REVISION: April 21, 2020 for Engineering Review
SCALE: N/A
DRAWN BY: S.E. Baill
DATE: April 7, 2020
SHEET C-2

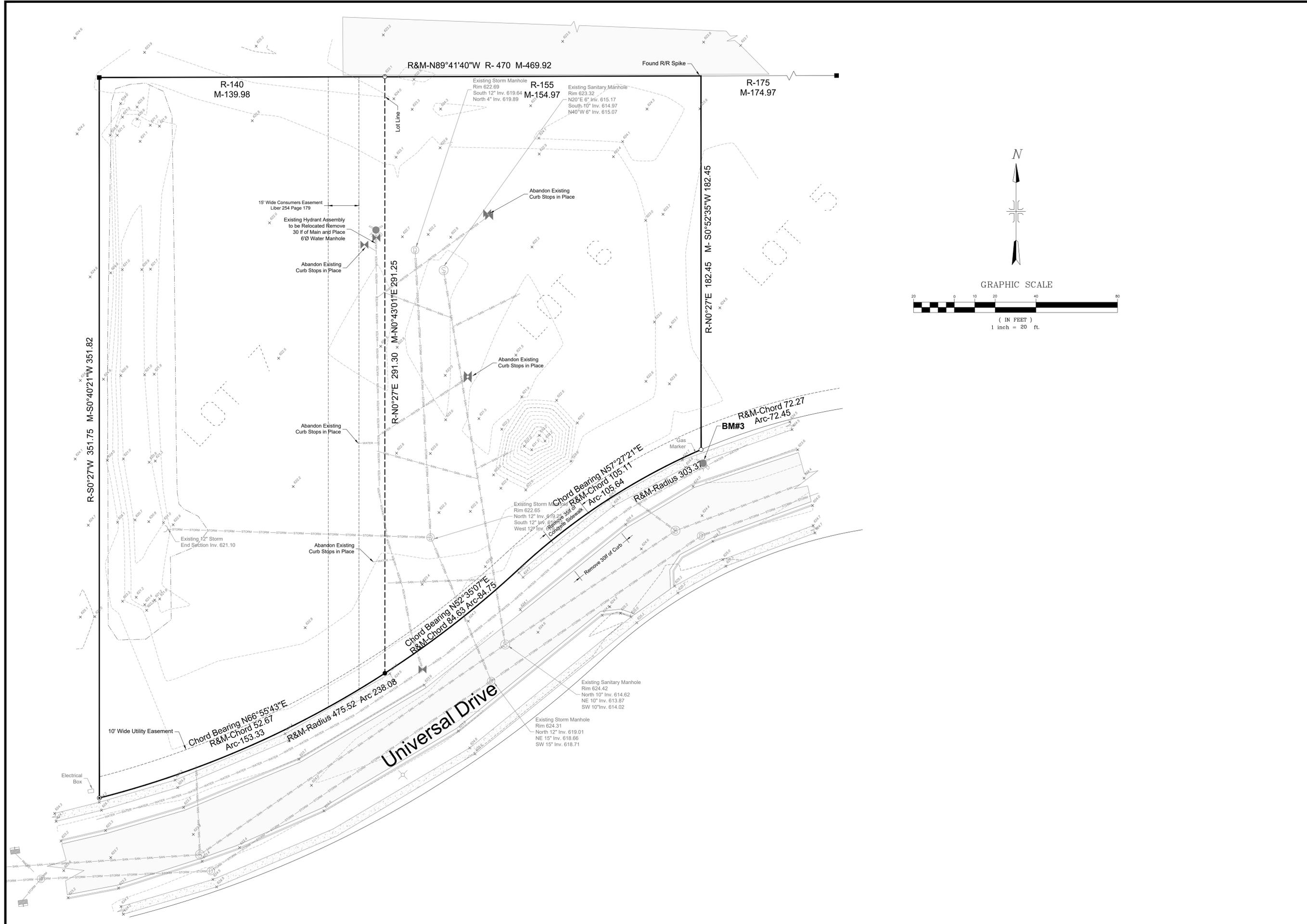


PROJECT NUMBER: P-190545	DRAWN BY: S.E. Bell	SCALE: 1" = 20'
ENGINEER: Timothy L. Lapham, P.E., P.S. 27595	DATE: April 7, 2020	SHEET C-3
REVISED: April 21, 2020 for Engineering Review		
REVISED:		

Topographic Survey
 Multi-Family Residential Development
 4912 Universal Dr., Midland, MI 48642
 For
PKP Properties, LLC

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PROJECT NUMBER: P-190545	DRAWN BY: S.E. Bell	SCALE: 1" = 20'
ENGINEER: Timothy L. Lapham, P.E., P.S. 27595	DATE: April 7, 2020	SHEET C-4
REVISED: April 21, 2020 for Engineering Review		
REVISED:		

Demolition Plan
 Multi-Family Residential Development
 4912 Universal Dr., Midland, MI 48642
 For
PKP Properties, LLC

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Site Plan Notes:

1. These plans and specifications are subject to modification during construction when conditions develop that were not apparent during the design and preparation of these plans. All modifications must be approved by local jurisdiction prior to construction and/or implementation.
2. In the event of any discrepancy between any drawing and the figures written thereon, the figures shall be taken as correct.
3. Should it appear that the work to be done or any matter relative thereto is not sufficiently detailed or explained on these plans, the contractor shall contact the engineer for such further explanations as may be necessary.
4. Before commencement of work, the contractor shall review all plans and specifications and the job site. The contractor shall notify the owner and the engineer of any discrepancies that may require modification to these plans or of any field conflicts.
5. Contractor agrees that in accordance with generally accepted construction practices, the contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property. This requirement shall be made to apply continuously and not be limited to normal working hours.
6. Contractor shall obtain all necessary permits prior to commencing construction involving right-of-ways, and for the construction, modification, or connection to facilities. All workmanship, equipment and materials shall conform to local jurisdiction standards and specifications.
7. Traffic control shall be provided in accordance with local jurisdiction.
8. The contractor shall provide all lights, signs, barricades, flag men, or other devices necessary to provide for public safety.
9. Where soil or geologic conditions encountered in grading operations are different from those generally anticipated, or where conditions warrant changes to the recommendations contained therein, a report of soil or geologic conditions shall be submitted along with proposed changes for approval and shall be accompanied by an engineer's opinion as to the safety of the site from the possibility of land slippage, settlement and seismic activity.
10. A preconstruction meeting shall be scheduled with the developer, services personnel and the developer's contractor. A preconstruction meeting shall take place prior to the starting of any construction on the site.
11. Meet all current applicable ADA requirements for parking, signage, ramps, sidewalks, and warning notification on sidewalks approaching drives as required.

Zoning Notes:

Owner: PKP Properties, LLC
2525 N. Eastman Road
Midland, MI 48642

Use: Multi-family Residential
Zoning: Residential B District "Multiple Family Residential District"

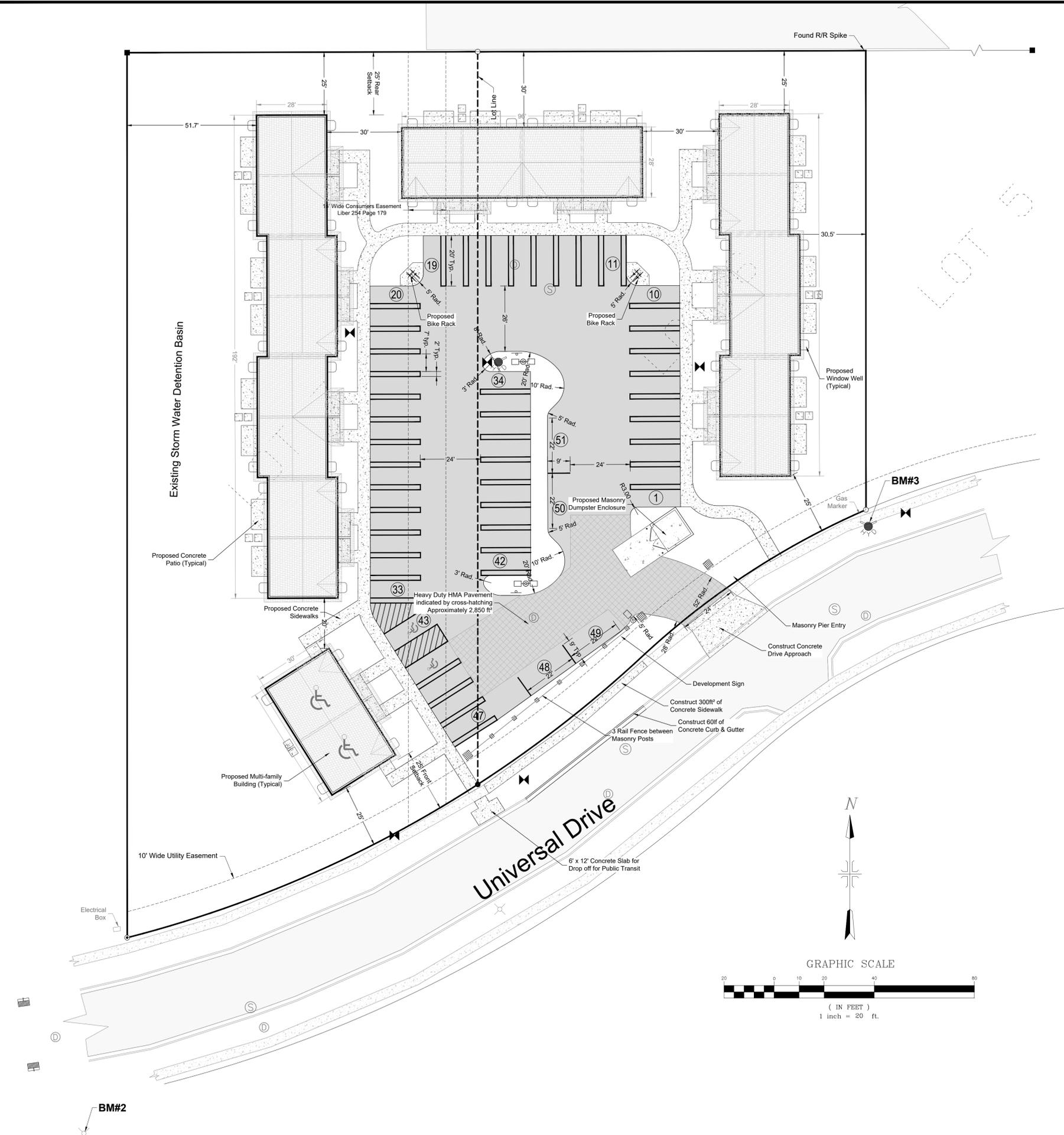
Setbacks: Front Setback 25'
Side Setback 25'
Rear Setback 25'

Density: (per Table 9.2 - 3,500 ft² per 3 or more bedroom unit required)
Parcel Size 81,763 ft² / 3,500 ft² per unit = 23 units maximum
22 units x 3,500 ft² per unit = 77,000 ft² required less than the 81,763 ft² parcel

Parking Calculations:

Parking Spaces Required:
2 Space per Dwelling Unit + 1 space per every 3 Dwelling Units per Table 5.3

22 Dwelling Units x 2 =	44 Spaces
22 Dwelling Units / 3 =	7 Spaces
Total Required Spaces	51 Spaces
Total Provided Spaces	51 Spaces



PROJECT NUMBER: P-190545	SCALE: 1" = 20'
ENGINEER: Timothy L. Lapham, P.E., P.S. 27595	DRAWN BY: S.E. Bell
REVISOR: April 21, 2020 for Engineering Review	DATE: April 7, 2020
REVISION:	SHEET C-5

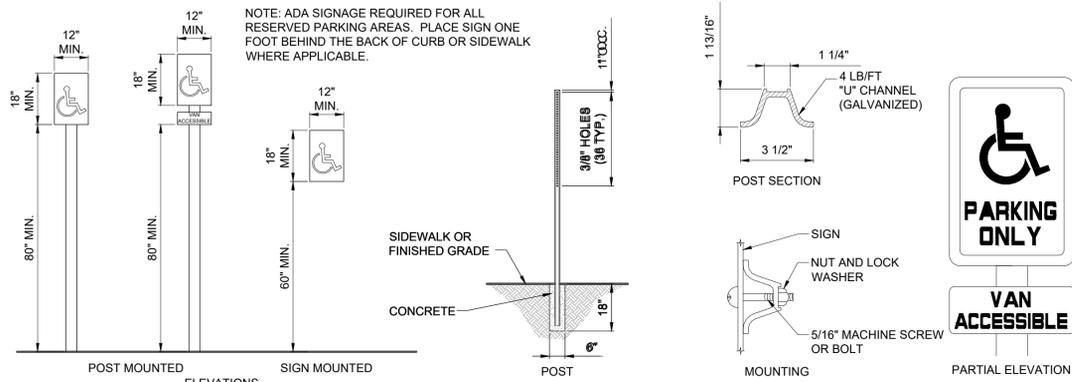
Site Plan
Multi-Family Residential Development
4912 Universal Dr., Midland, MI 48642
For
PKP Properties, LLC

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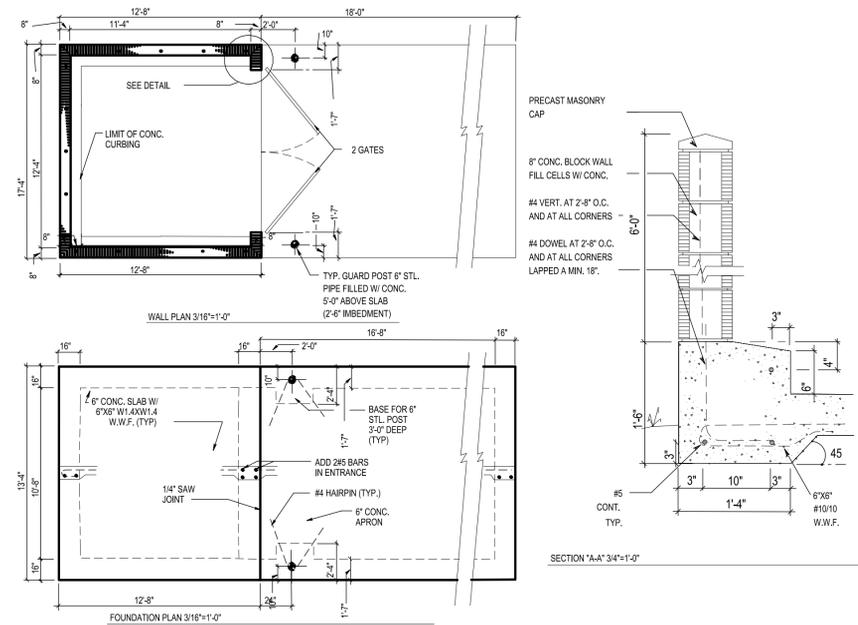
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C-5

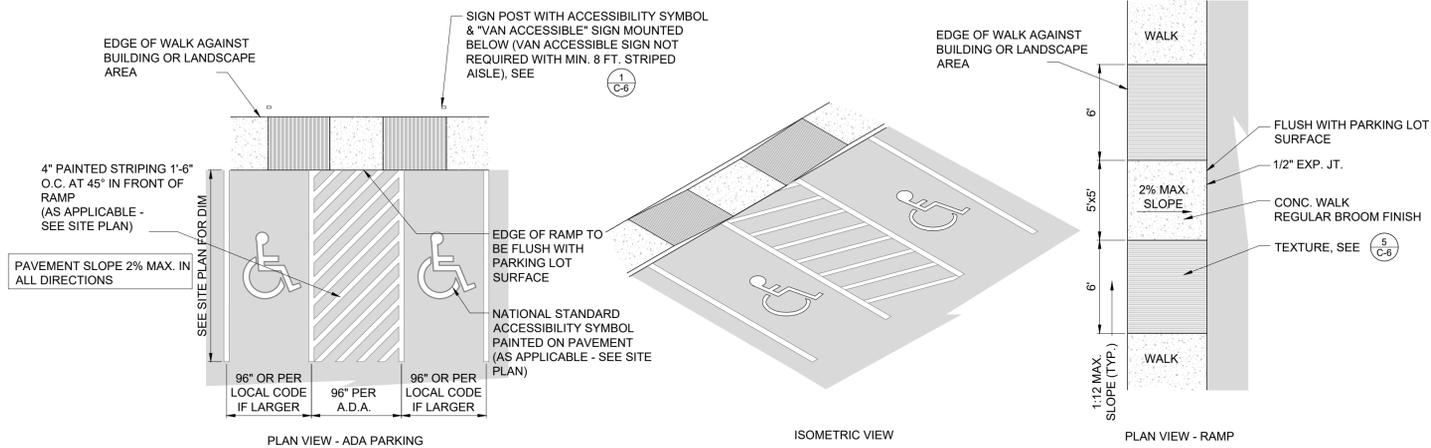


1 C-6 ADA SIGNAGE DETAIL SCALE: NONE

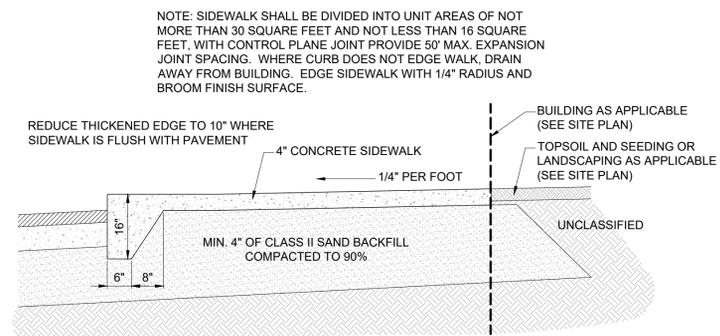
2 C-6 BITUMINOUS PAVEMENT DETAIL SCALE: NONE



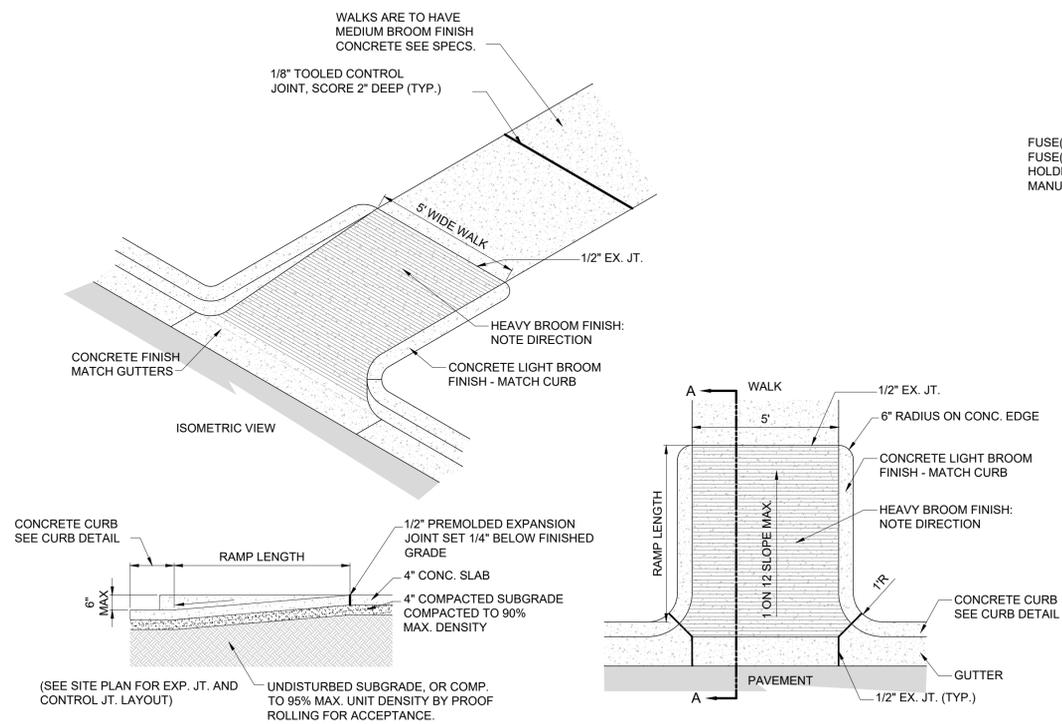
3 C-6 DUMPSTER ENCLOSURE DETAIL SCALE: As Shown



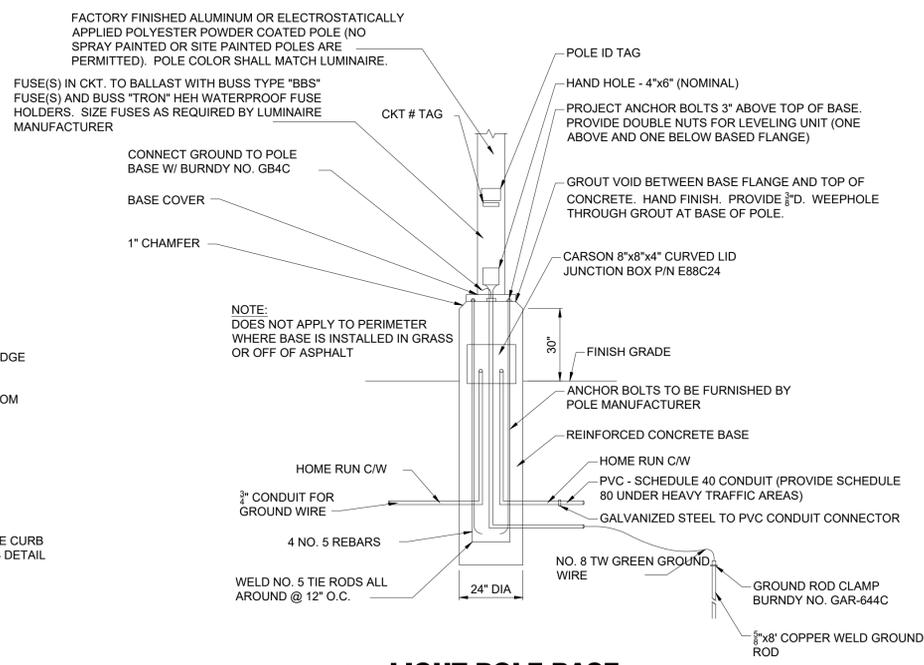
4 C-6 ACCESSIBLE PARKING STALLS SCALE: NONE



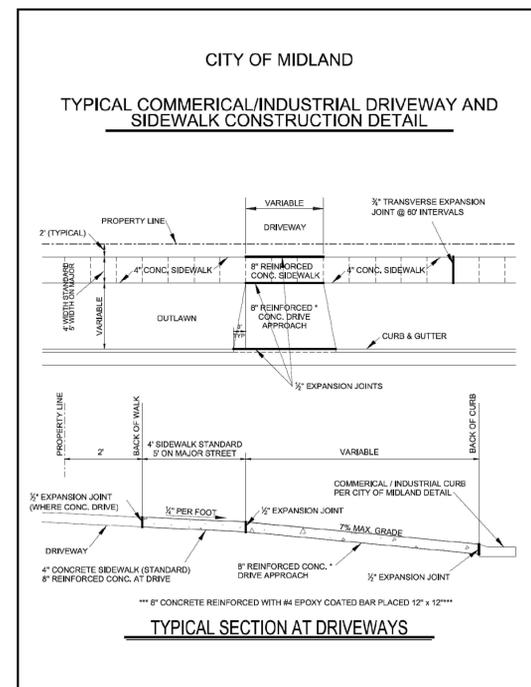
6 C-6 TYPICAL SIDEWALK DETAIL SCALE: NONE



5 C-6 BARRIER FREE RAMP - TYPE I SCALE: NONE



7 C-6 LIGHT POLE BASE SCALE: NONE



PROJECT NUMBER: P-190545	SCALE: N/A
ENGINEER: Timothy L. Lapham, P.E., P.S. 27595	DRAWN BY: S.E. Bell
REVISION: April 21, 2020 for Engineering Review	SHEET C-6
REVISED:	

Site Details
 Multi-Family Residential Development
 4912 Universal Dr., Midland, MI 48642
 For
 PKP Properties, LLC

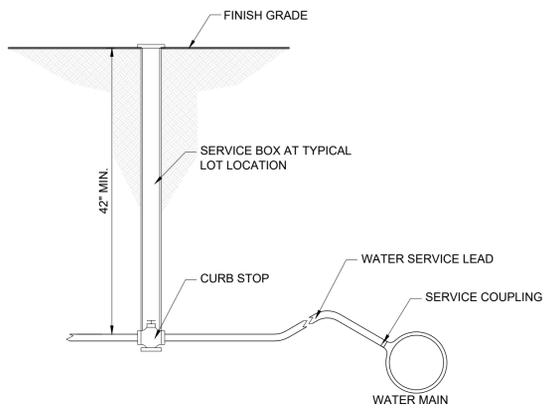
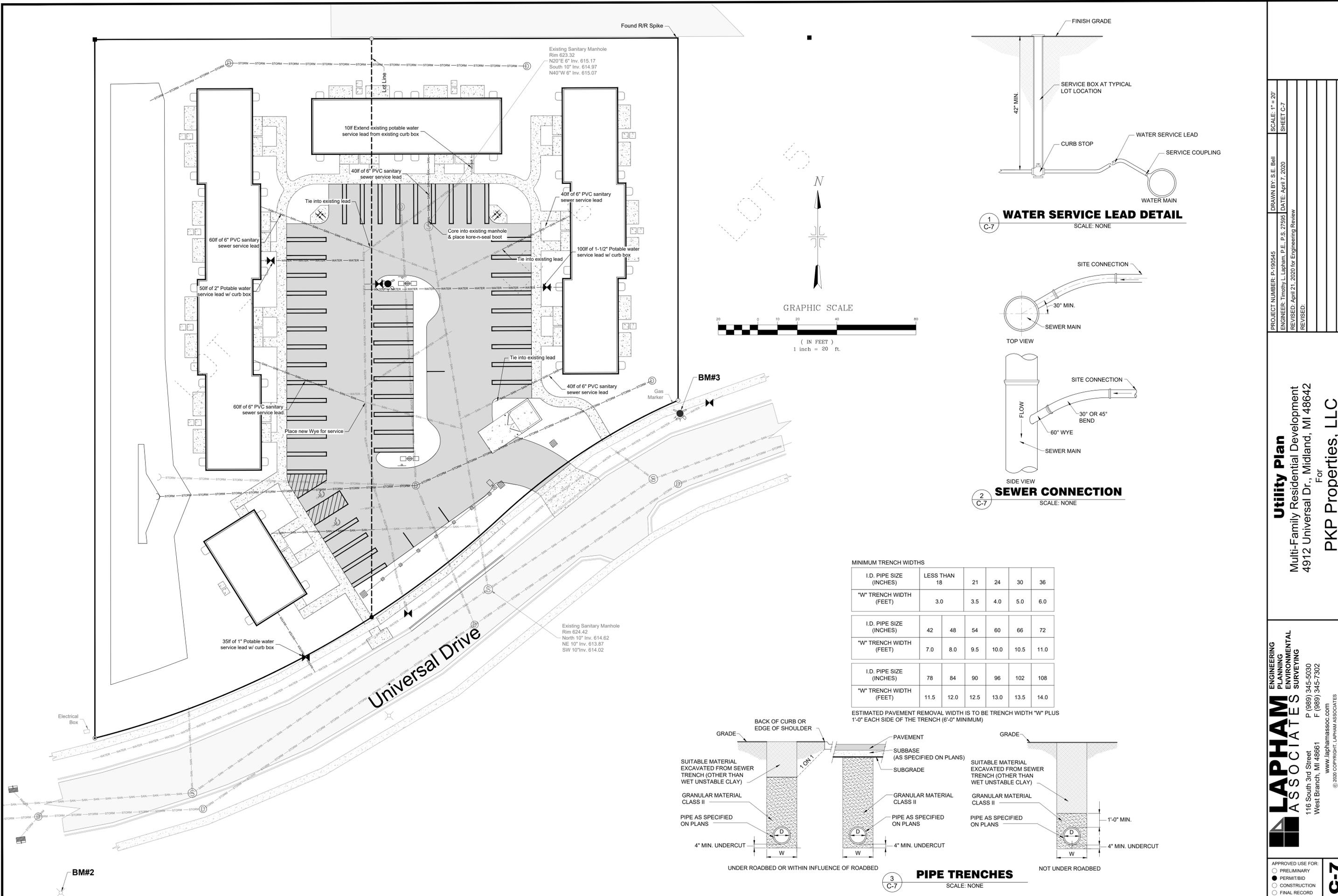
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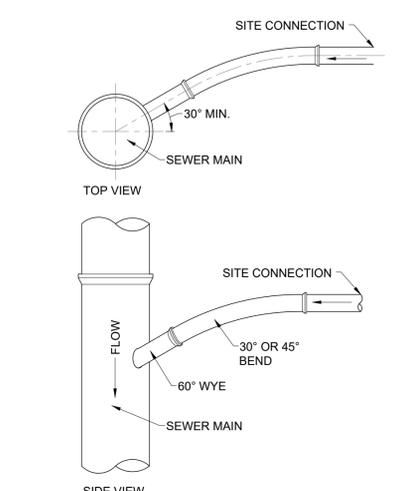
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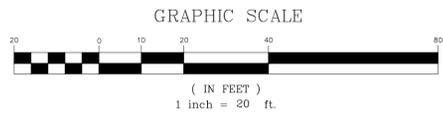
C-6



1 WATER SERVICE LEAD DETAIL
SCALE: NONE
C-7



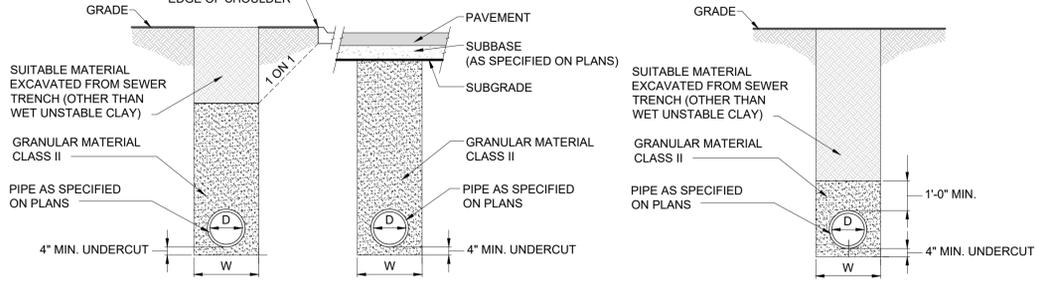
2 SEWER CONNECTION
SCALE: NONE
C-7



MINIMUM TRENCH WIDTHS

I.D. PIPE SIZE (INCHES)	LESS THAN 18	21	24	30	36	
"W" TRENCH WIDTH (FEET)	3.0	3.5	4.0	5.0	6.0	
I.D. PIPE SIZE (INCHES)	42	48	54	60	66	72
"W" TRENCH WIDTH (FEET)	7.0	8.0	9.5	10.0	10.5	11.0
I.D. PIPE SIZE (INCHES)	78	84	90	96	102	108
"W" TRENCH WIDTH (FEET)	11.5	12.0	12.5	13.0	13.5	14.0

ESTIMATED PAVEMENT REMOVAL WIDTH IS TO BE TRENCH WIDTH "W" PLUS 1'-0" EACH SIDE OF THE TRENCH (6'-0" MINIMUM)



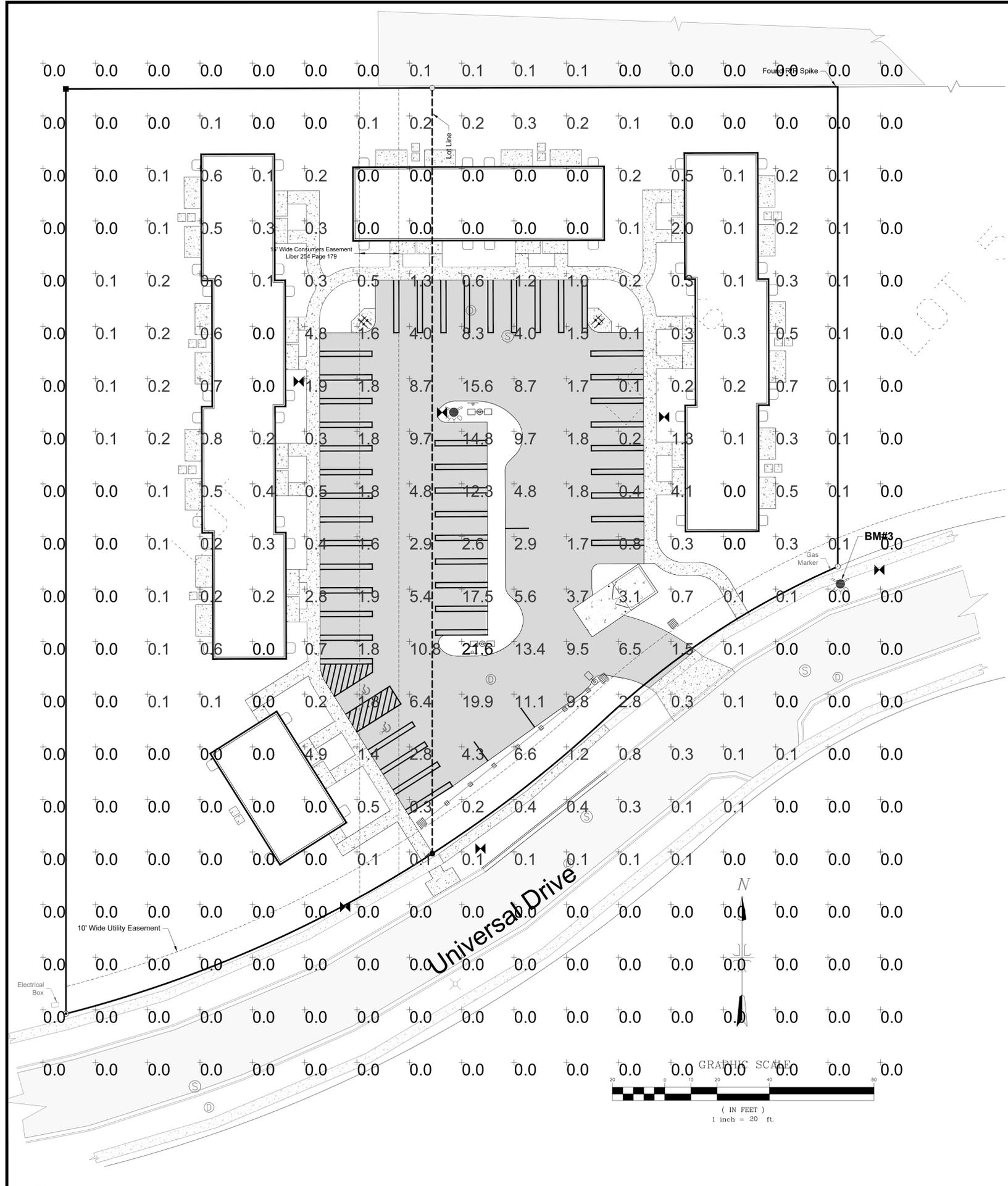
3 PIPE TRENCHES
SCALE: NONE
C-7

SCALE: 1" = 20'
SHEET C-7
DRAWN BY: S.E. Bell
DATE: April 7, 2020
PROJECT NUMBER: P-190545
ENGINEER: Timothy L. Lapham, P.E., P.S. 27693
REVISED: April 21, 2020 for Engineering Review
REVISED:

Utility Plan
Multi-Family Residential Development
4912 Universal Dr., Midland, MI 48642
For
PKP Properties, LLC

LAPHAM ASSOCIATES
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LOWE'S

Item # 727836 Model # WLL131SB
Portfolio 11.22-in H Sandy Black LED Outdoor Wall Light ENERGY STAR

57 Ratings
 4.2 Average
 86% Recommend this product
 Community Q&A
 View Now

EXCLUSIVE
 \$7.99 (was \$9.99)
 SAVE 80% thru 03/07/2020

- Sandy black finish outdoor wall lights is classic and refined
- Frosted shades diffuse light beautifully
- Crafted from weather resistant materials for durability season after season

Low's Has You Covered
 We're here to help with extended warranty protection, assembly, haul away and more. Add to cart to view availability.

Ships to Store FREE
 Shipping & Delivery
 Ready for pickup: Estimated 3 - 7 days
 Ready for delivery: Estimated 3-7 days

Product Information

Description
 This beautiful and practical 2pk LED outdoor wall lights are crafted from the finest materials for long lasting weather resistance and durability. LED lighting provides years of maintenance free lighting. Energy Star® certified products help you save money on utility bills without sacrificing performance, style or comfort.

- Sandy black finish outdoor wall lights is classic and refined
- Frosted shades diffuse light beautifully
- Crafted from weather resistant materials for durability season after season
- Traditional lantern design is ideal for illuminating your entryway
- Integrated 11 watt LED is energy efficient and maintenance free
- Measures 11.22 H x 6.5 W x 7.52 D

Energy Star® certified products help you save money on utility bills without sacrificing performance, style or comfort.

Hardware included for fast and easy installation

Specifications

Collection Name	N/A	Lumens (Lumens)	546
Type	Outdoor lantern	Glass Color	Frosted
Size	Large (larger than 9 inches)	Glass Style	Flat
Package Quantity	1	Style	Transitional
Bulb Type	LED	Dark Sky	X
Number of Bulbs Required	1	Hardware Included	✓
Bulb(s) Included	✓	Weather Resistant	✓
		Weatherproof	✓
		Weight (lbs.)	3.5
		ENERGY STAR Certified	✓
Recommended Light Bulb Shape	LED	Low's Exclusive	✓
Light Bulb Base Type	LED	Warranty	5-year limited
Power Source	Hardwired	Safety Listing	UL safety listing
Material	Metal	UNSPSC	39111600
Fixture Height (Inches)	11.22	Wattage	11
Fixture Width (Inches)	6.5	Motion Sensor	X
Fixture Depth (Inches)	7.52		
Manufacturer Color Finish	Sandy Black		
Fixture Color Family	Black		
Fixture Finish	N/A		
Wattage Equivalent	15		

Streetworks

Catalog #	Type
Project	Date
Comments	
Prepared by	

GAN GALLEON LED
 1-10 Light Squares
 Solid State LED
 AREA / ROADWAY LUMINAIRE

DESCRIPTION
 The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AcuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP68 rated and UL/ULC Listed for wet locations.

SPECIFICATION FEATURES

Construction
 Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy wall, die-cast aluminum and caps enclose housing and die-cast aluminum heat sinks. A unique patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP68 rated.

Optics
 Patented, high-efficiency injection-molded AcuLED Optics technology. Optics are precisely designed to shape the distribution maximizing efficiency and optimizing spacing. AcuLED Optics create consistent distributions with the scalability of LED technology.

Electrical
 LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP68 rated. Greater than 90k lumen maintenance exceeded at 60,000 hours. Available in standard 1A drive current and optional 800mA, 800mA and 1200mA drive currents (nominal).

Mounting
 Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the arm mounting requirement table.

Round pole adapter included. For wall mounting, specify wall mount bracket option. QUICK MOUNT ARM: Adapter is bolted directly to the pole. Quick mount arm slides into place on the adapter and is secured via two screws, facilitating quick and easy installation. The versatile, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the cover on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

Finish
 Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

Warranty
 Five-year warranty.

DIMENSIONS

DIMENSION DATA

Number of Light Squares	"A" Width	"B" Standard Arm Length	"B" Optional Arm Length	Weight with Arm (lbs.)	EPA with Arm (Sq. Ft.)
1-4	16.12" (409mm)	7" (178mm)	10" (254mm)	10.52 (4.78kg)	0.96
5-8	21.68" (550mm)	7" (178mm)	10" (254mm)	10.52 (4.78kg)	1.30
9-16	27.24" (692mm)	7" (178mm)	10" (254mm)	10.52 (4.78kg)	1.64
17-24	32.80" (833mm)	7" (178mm)	10" (254mm)	10.52 (4.78kg)	1.98

DRILLING PATTERN

ENERGY DATA
 Biometric LED Driver
 3.0:1 Power Factor
 120V-277V 50/60Hz
 347V & 480V 60Hz
 34°C Min. Temperature
 50°C Max. Temperature
 50°C Max. Temperature (HA Option)

STANDARD ARM MOUNTING REQUIREMENTS

Configuration	90° Apart	120° Apart	2 @ 180°
GAN-AF-01	7" Arm (Standard)	7" Arm (Standard)	7" Arm (Standard)
GAN-AF-02	7" Arm (Standard)	7" Arm (Standard)	7" Arm (Standard)
GAN-AF-03	7" Arm (Standard)	7" Arm (Standard)	7" Arm (Standard)
GAN-AF-04	7" Arm (Standard)	7" Arm (Standard)	7" Arm (Standard)
GAN-AF-05	12" Extended Arm (Required)	7" Arm (Standard)	7" Arm (Standard)
GAN-AF-06	12" Extended Arm (Required)	7" Arm (Standard)	7" Arm (Standard)
GAN-AF-07	12" Extended Arm (Required)	12" Extended Arm (Required)	12" Extended Arm (Required)
GAN-AF-08	12" Extended Arm (Required)	12" Extended Arm (Required)	12" Extended Arm (Required)
GAN-AF-09	12" Extended Arm (Required)	12" Extended Arm (Required)	12" Extended Arm (Required)
GAN-AF-10	18" Extended Arm (Required)	18" Extended Arm (Required)	18" Extended Arm (Required)

STANDARD WALL MOUNT

MAST ARM MOUNT

QUICK MOUNT ARM (INCLUDES FIXTURE ADAPTER)

QUICK MOUNT ARM DATA

Number of Light Squares	"A" Width	Weight with QM Arm (lbs.)	Weight with QMEA Arm (lbs.)	EPA (Sq. Ft.)
1-4	16.12" (409mm)	26.17 (11.87kg)	26.17 (11.87kg)	0.96
5-8	21.68" (550mm)	42.03 (18.99kg)	42.03 (18.99kg)	1.30
9-16	27.24" (692mm)	54.25 (24.59kg)	54.25 (24.59kg)	1.64

Site Lighting Notes:

- All parking lot lights shall be directed away from other properties and/or shielded.
- All wall packs shall be downward directed and shielded from directing light towards neighbors.
- Lightpoles shall have a mounting height of 15'-0".

SCALE: 1" = 20'
 SHEET C-8

PROJECT NUMBER: P-190545
 DRAWN BY: S.E. Bell
 ENGINEER: Timothy L. Lapham, P.E., P.S. 27595
 DATE: April 7, 2020
 REVISION: April 21, 2020 for Engineering Review
 REVISED:
 REVISED:

Photometric Plan
 Multi-Family Residential Development
 4912 Universal Dr., Midland, MI 48642
 For
 PKP Properties, LLC

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C-8

CITY OF MIDLAND STORMWATER SIZING REQUIREMENTS (FROM TR-55 WORKSHEETS):

Total Contributing Area = 1.877 Acres = 0.00293 sq. mi

Soil Type: C (Loamy Sand -per USDA Soil Survey)
 Impervious Area = 0.951 Acre x CN 98 = 93.198
 Pervious Area = 0.926 Acre x CN 79 = 73.154
 Cumulative Site CN = 166.352/1.877 = 88.62 = 89
 Design Storm Event = 50-yr Storm
 Precipitation (P) = 5 inches

$S = 1000/CN - 10 = 1000/89 - 10 = 11.236 - 10 = 1.236$
 $Runoff (Q) = (P-0.25)^2 = (5 - .2472)^2 = 22.589 = 3.772$ inches
 $(P+0.85) (5 + .9888) (5 + .9888) = 5.9888$

Time of Concentration = 10 Minutes minimum = 0.1667
 Initial Abstraction (Ia) (from Table 4-1) = 0.247
 $Ia / P = .247 / 5 = 0.0494$ (Use Minimum Ia/P = 0.10)

Unit Peak Discharge (Q_u) (from Exhibit 4-II) = 875
 Peak Inflow Discharge (Q_i) = $Q_u \cdot A \cdot Q = 875 \times 0.00293 \times 3.772 = 9.670$ cfs
 Peak Outflow Discharge (Q_o) = Limited to 0.2 cfs/acre = 1.877 acres x 0.2 cfs/acre = 0.375 cfs
 $Q_o/Q_i = 0.375 / 9.67 = 0.0388$ (Use Minimum $Q_o/Q_i = 0.1$)
 Actual Release Rate (cfs): $C \times A \times (2gh)^{0.5}$
 Orifice Coefficient (C) = 0.6
 Depth to Orifice (h) = 623.50 - 619.15 = 4.35'
 Gravitational Constant = 32.2

Utilizing the Maximum Allowable and Solving for the Area of Orifice (A):
 $A = (0.375 / 0.6) / 16.74 = 0.0373$ sq. ft.
 Diameter = 0.218 ft = 2.6"

V_s/V_r (Extrapolated From Figure 6-1 and utilizing Q_o/Q_i and T_c) = 0.6
 Volume Runoff (V_r) = $Q \times A \times 53.33 = 3.772 \times 0.00293 \times 53.33 = 0.602$ Ac-ft
 Volume Storage (V_s) = $V_r (V_s/V_r) = 0.602 \times 0.6 = 0.3612$ Ac-ft = 15,734 cu. ft.

Storage Volume Provided = 16,000 cu. ft. > 15,734 cu. ft.

ELEV	AREA (sq. ft.)	DEPTH (ft)	AVG END INC. VOL. (cu. ft.)	AVG END TOTAL VOL. (cu. ft.)
620	297	N/A	0	0
621	2373	1.0	1335	1335
621.75	4681	0.75	2645	3,980
622	5291	0.25	1247	5,227
623.00	7813	1.0	6552	11,779
623.50	9122	0.5	4234	16,013

Freeboard Elevation = 624.50

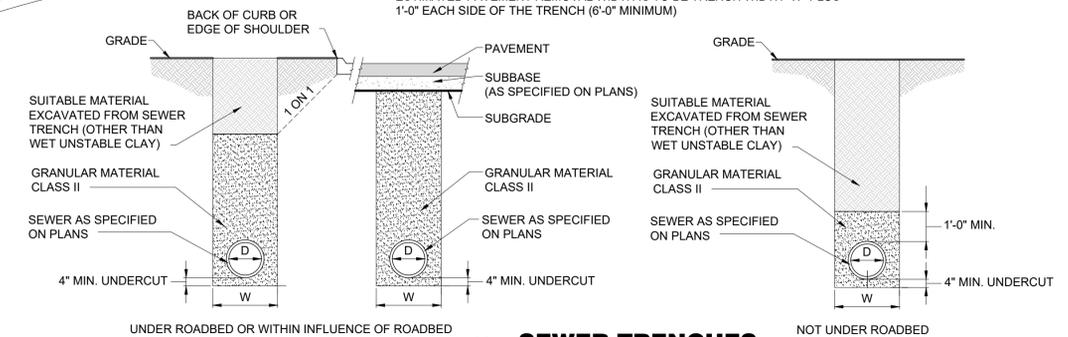
MINIMUM TRENCH WIDTHS

I.D. PIPE SIZE (INCHES)	LESS THAN 18	21	24	30	36
"W" TRENCH WIDTH (FEET)	3.0	3.5	4.0	5.0	6.0

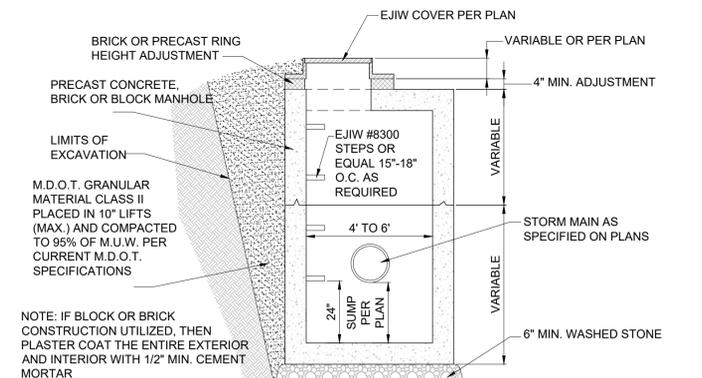
I.D. PIPE SIZE (INCHES)	42	48	54	60	66	72
"W" TRENCH WIDTH (FEET)	7.0	8.0	9.5	10.0	10.5	11.0

I.D. PIPE SIZE (INCHES)	78	84	90	96	102	108
"W" TRENCH WIDTH (FEET)	11.5	12.0	12.5	13.0	13.5	14.0

ESTIMATED PAVEMENT REMOVAL WIDTH IS TO BE TRENCH WIDTH "W" PLUS 1'-0" EACH SIDE OF THE TRENCH (6'-0" MINIMUM)



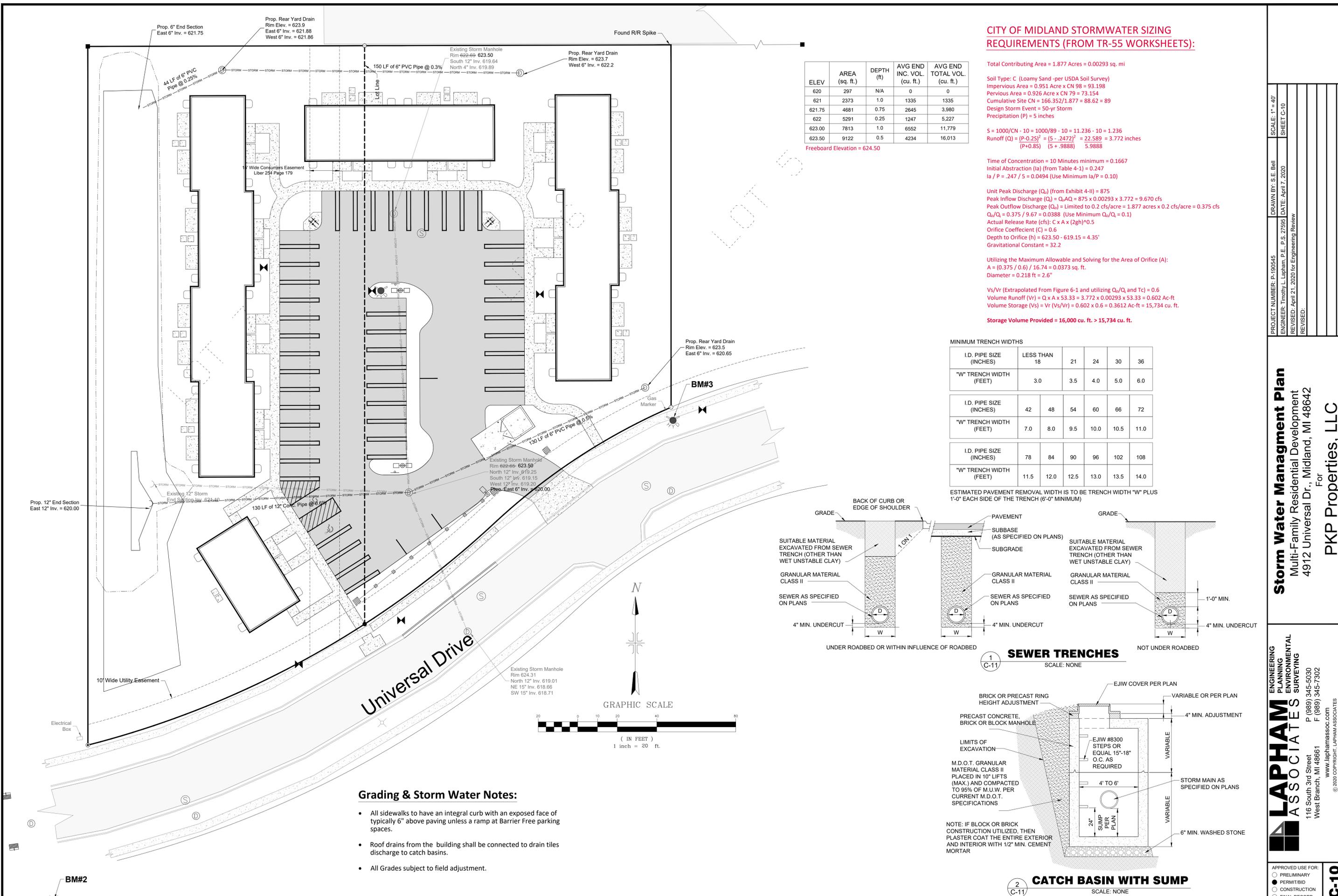
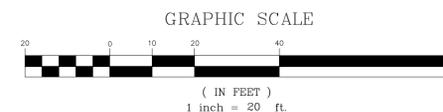
1 SEWER TRENCHES
 SCALE: NONE
 C-11



2 CATCH BASIN WITH SUMP
 SCALE: NONE
 C-11

Grading & Storm Water Notes:

- All sidewalks to have an integral curb with an exposed face of typically 6" above paving unless a ramp at Barrier Free parking spaces.
- Roof drains from the building shall be connected to drain tiles discharge to catch basins.
- All Grades subject to field adjustment.

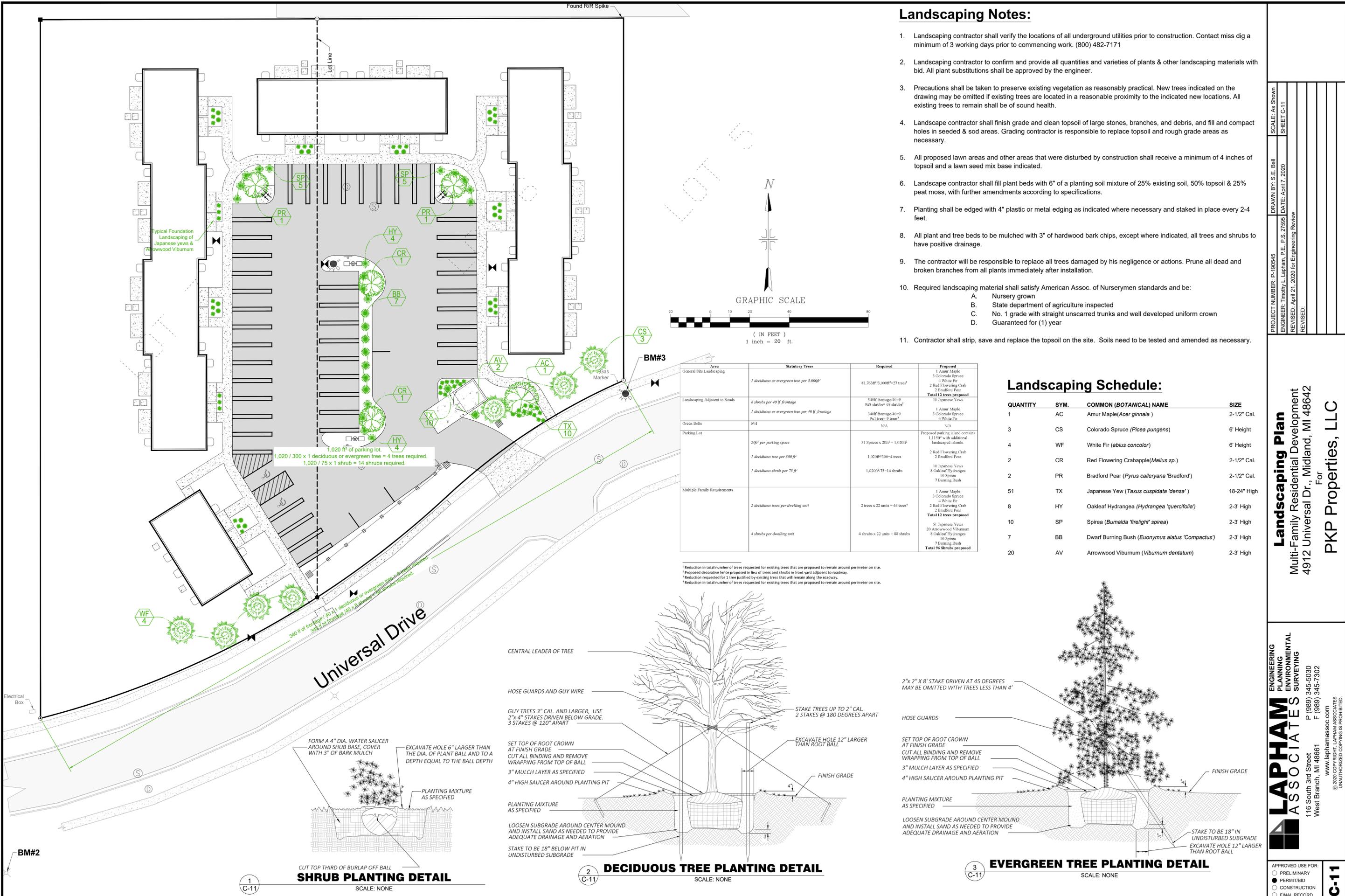


PROJECT NUMBER: P-190545
 ENGINEER: Timothy L. Lapham, P.E., P.S. 27585
 REVISION: April 21, 2020 for Engineering Review
 DRAWN BY: S.E. Bell
 DATE: April 7, 2020
 SCALE: 1" = 40'
 SHEET C-10

Storm Water Management Plan
 Multi-Family Residential Development
 4912 Universal Dr., Midland, MI 48642
 For
PKP Properties, LLC

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Landscaping Notes:

1. Landscaping contractor shall verify the locations of all underground utilities prior to construction. Contact miss dig a minimum of 3 working days prior to commencing work. (800) 482-7171
2. Landscaping contractor to confirm and provide all quantities and varieties of plants & other landscaping materials with bid. All plant substitutions shall be approved by the engineer.
3. Precautions shall be taken to preserve existing vegetation as reasonably practical. New trees indicated on the drawing may be omitted if existing trees are located in a reasonable proximity to the indicated new locations. All existing trees to remain shall be of sound health.
4. Landscape contractor shall finish grade and clean topsoil of large stones, branches, and debris, and fill and compact holes in seeded & sod areas. Grading contractor is responsible to replace topsoil and rough grade areas as necessary.
5. All proposed lawn areas and other areas that were disturbed by construction shall receive a minimum of 4 inches of topsoil and a lawn seed mix base indicated.
6. Landscape contractor shall fill plant beds with 6" of a planting soil mixture of 25% existing soil, 50% topsoil & 25% peat moss, with further amendments according to specifications.
7. Planting shall be edged with 4" plastic or metal edging as indicated where necessary and staked in place every 2-4 feet.
8. All plant and tree beds to be mulched with 3" of hardwood bark chips, except where indicated, all trees and shrubs to have positive drainage.
9. The contractor will be responsible to replace all trees damaged by his negligence or actions. Prune all dead and broken branches from all plants immediately after installation.
10. Required landscaping material shall satisfy American Assoc. of Nurserymen standards and be:
 - A. Nursery grown
 - B. State department of agriculture inspected
 - C. No. 1 grade with straight unscarred trunks and well developed uniform crown
 - D. Guaranteed for (1) year
11. Contractor shall strip, save and replace the topsoil on the site. Soils need to be tested and amended as necessary.

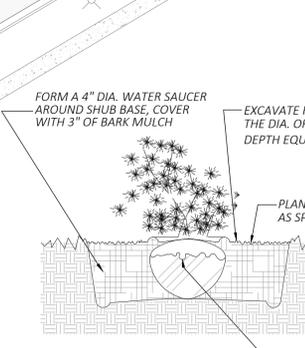
Area	Statutory Trees	Required	Proposed
General Site Landscaping	1 deciduous or evergreen tree per 3,000ft ²	81,763ft ² /3,000ft ² =27 trees ¹	1 Amur Maple 3 Colorado Spruce 4 White Fir 2 Red Flowering Crab 2 Bradford Pear Total 12 trees proposed
Landscaping Adjacent to Roads	8 shrubs per 40 lf frontage 1 deciduous or evergreen tree per 40 lf frontage	340lf frontage/40=9 shrubs 340lf frontage/40=9 trees ²	10 Japanese Yews 1 Amur Maple 3 Colorado Spruce 4 White Fir
Green Belts	N/A	N/A	N/A
Parking Lot	20ft ² per parking space 1 deciduous tree per 300 ft ² 1 deciduous shrub per 75 ft ²	51 Spaces x 20ft ² = 1,020ft ² 1,020ft ² /300=4 trees 1,020ft ² /75=14 shrubs	Proposed parking island contains 1,115ft ² with additional landscaped islands 2 Red Flowering Crab 2 Bradford Pear 10 Japanese Yews 8 Oakleaf Hydrangeas 10 Spirea 7 Burning Bush
Multiple Family Requirements	2 deciduous trees per dwelling unit 4 shrubs per dwelling unit	2 trees x 12 units = 44 trees ³ 4 shrubs x 12 units = 88 shrubs	1 Amur Maple 3 Colorado Spruce 4 White Fir 2 Red Flowering Crab 2 Bradford Pear Total 12 trees proposed 51 Japanese Yews 20 Arrowwood Viburnum 8 Oakleaf Hydrangeas 10 Spirea 7 Burning Bush Total 96 Shrubs proposed

Landscaping Schedule:

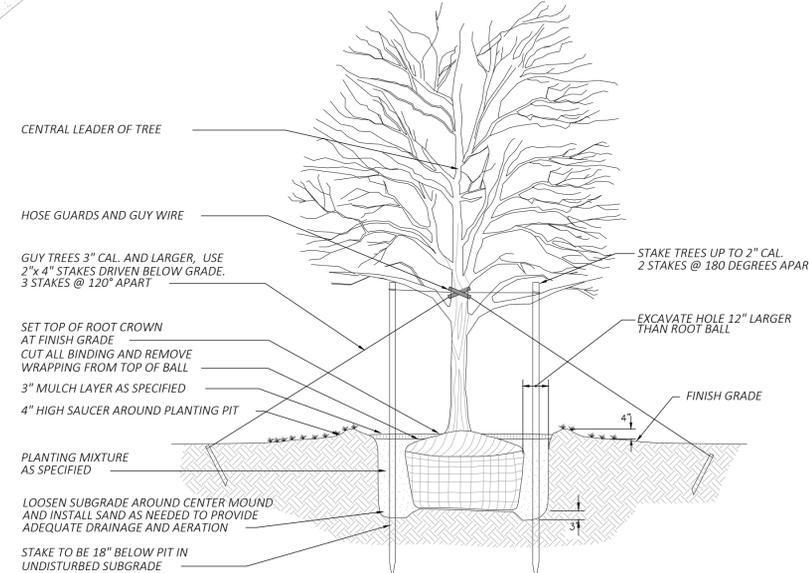
QUANTITY	SYM.	COMMON (BOTANICAL) NAME	SIZE
1	AC	Amur Maple (<i>Acer ginnala</i>)	2-1/2" Cal.
3	CS	Colorado Spruce (<i>Picea pungens</i>)	6' Height
4	WF	White Fir (<i>Abies concolor</i>)	6' Height
2	CR	Red Flowering Crabapple (<i>Mallus sp.</i>)	2-1/2" Cal.
2	PR	Bradford Pear (<i>Pyrus calleryana</i> 'Bradford')	2-1/2" Cal.
51	TX	Japanese Yew (<i>Taxus cuspidata</i> 'densa')	18-24" High
8	HY	Oakleaf Hydrangea (<i>Hydrangea 'quercifolia'</i>)	2-3' High
10	SP	Spirea (<i>Bumalda 'firelight' spirea</i>)	2-3' High
7	BB	Dwarf Burning Bush (<i>Euonymus alatus 'Compactus'</i>)	2-3' High
20	AV	Arrowwood Viburnum (<i>Viburnum dentatum</i>)	2-3' High

¹ Reduction in total number of trees requested for existing trees that are proposed to remain around perimeter on site.
² Proposed decorative fence proposed in lieu of trees and shrubs in front yard adjacent to roadway.
³ Reduction requested for 1 tree justified by existing trees that will remain along the roadway.
⁴ Reduction in total number of trees requested for existing trees that are proposed to remain around perimeter on site.

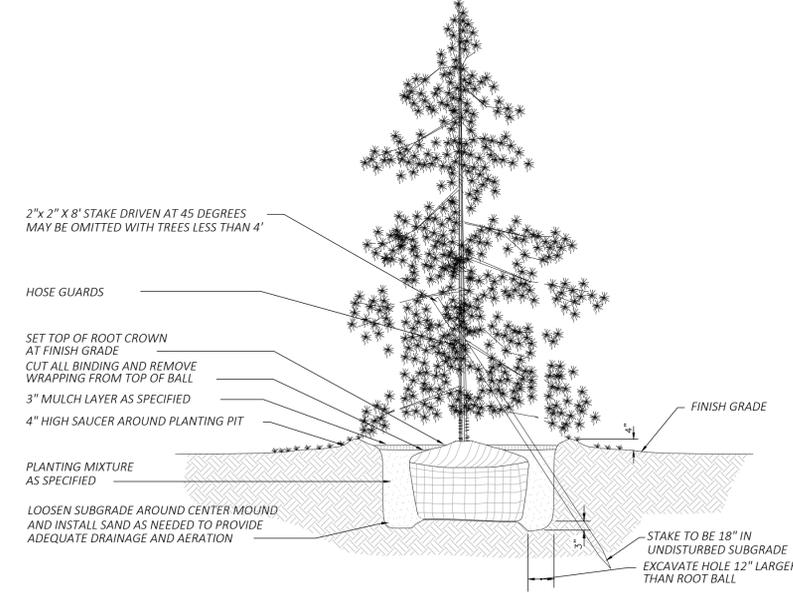
Universal Drive



SHRUB PLANTING DETAIL
SCALE: NONE



DECIDUOUS TREE PLANTING DETAIL
SCALE: NONE



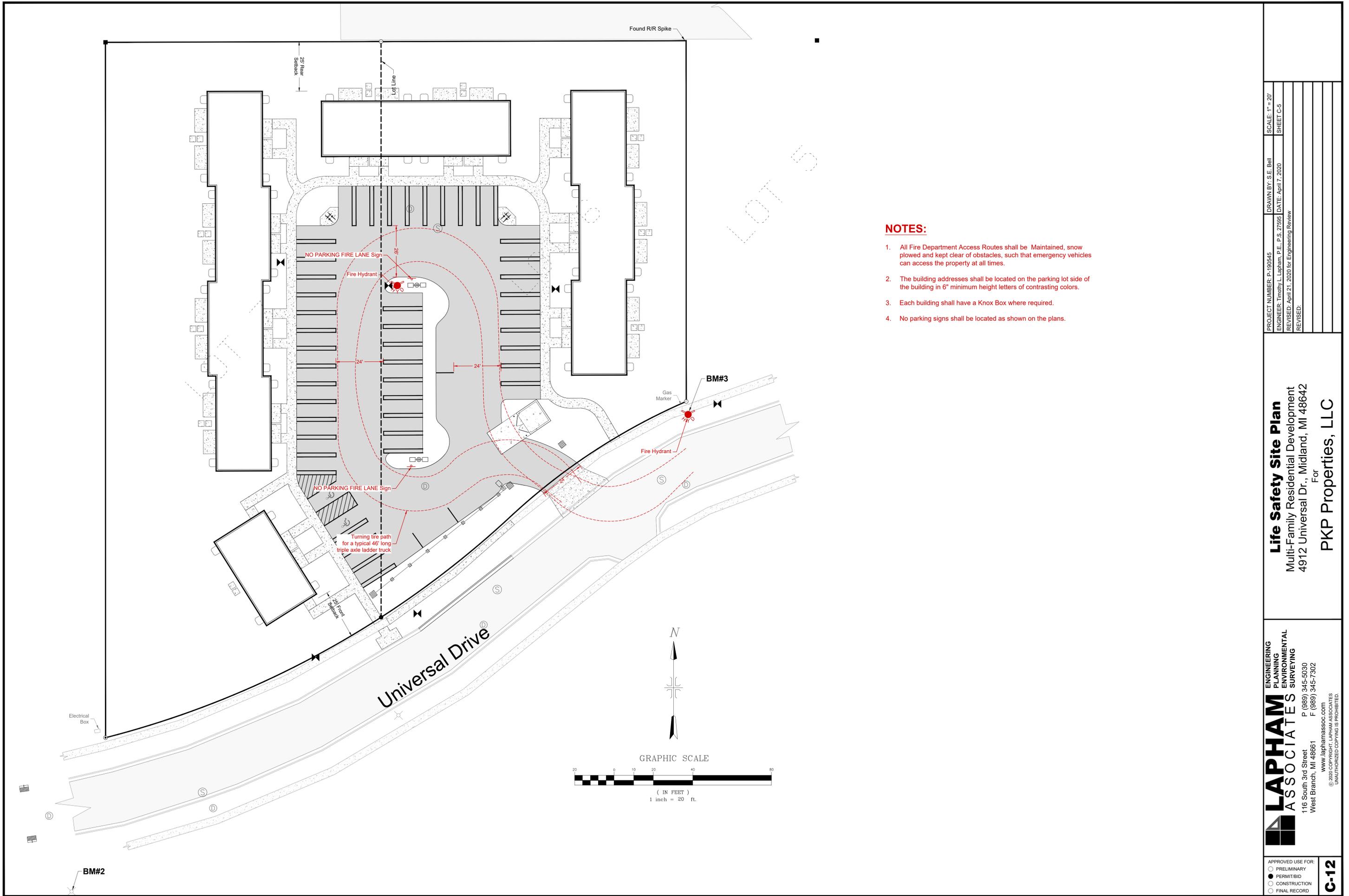
EVERGREEN TREE PLANTING DETAIL
SCALE: NONE

PROJECT NUMBER: P-190545
 ENGINEER: Timothy L. Lapham, P.E., P.S. 27395
 REVISION: April 21, 2020 for Engineering Review
 DRAWN BY: S.E. Bell
 DATE: April 7, 2020
 SCALE: As Shown
 SHEET: C-11

Landscaping Plan
 Multi-Family Residential Development
 4912 Universal Dr., Midland, MI 48642
 For
PKP Properties, LLC

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NOTES:

1. All Fire Department Access Routes shall be Maintained, snow plowed and kept clear of obstacles, such that emergency vehicles can access the property at all times.
2. The building addresses shall be located on the parking lot side of the building in 6" minimum height letters of contrasting colors.
3. Each building shall have a Knox Box where required.
4. No parking signs shall be located as shown on the plans.

PROJECT NUMBER: P-190545	DRAWN BY: S.E. Bell	SCALE: 1" = 20'
ENGINEER: Timothy L. Lapham, P.E., P.S. 27595	DATE: April 7, 2020	SHEET C-5
REVISED: April 21, 2020 for Engineering Review		
REVISED:		

Life Safety Site Plan
 Multi-Family Residential Development
 4912 Universal Dr., Midland, MI 48642
 For
PKP Properties, LLC

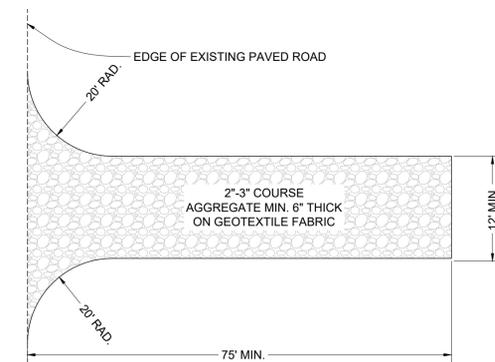
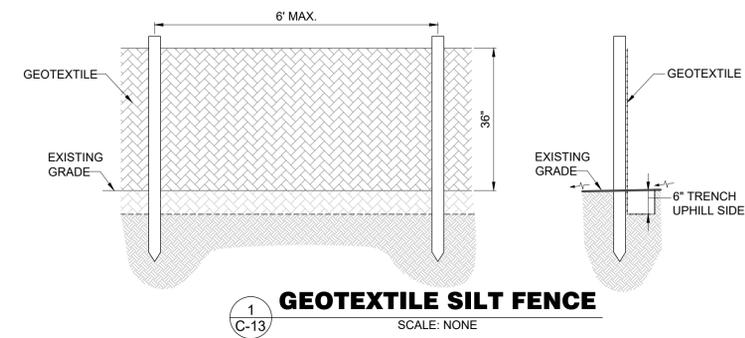
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SESC Plan Notes:

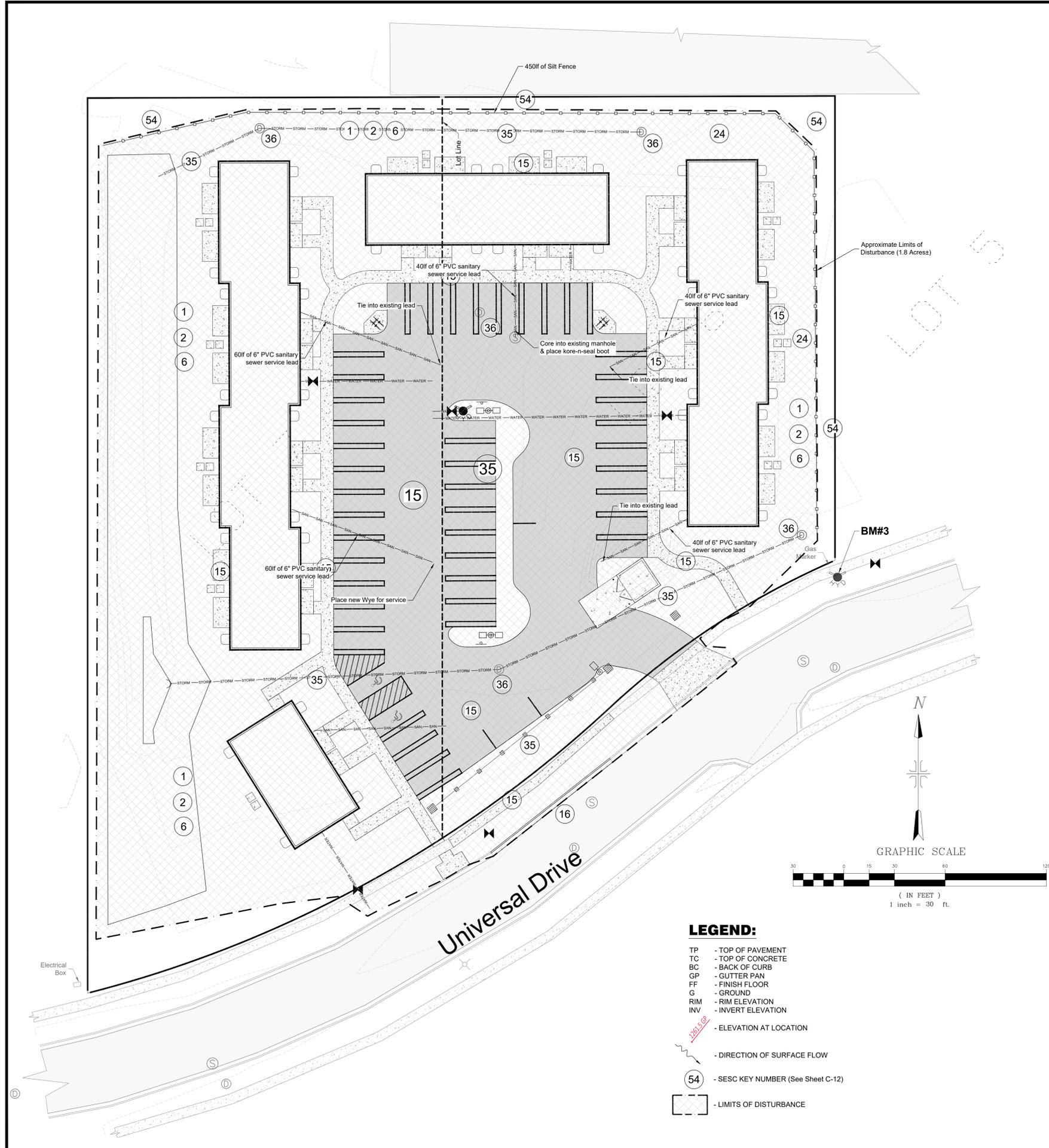
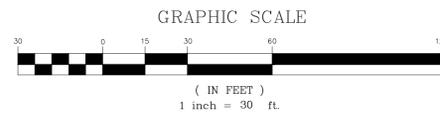
- This project shall be constructed in compliance with the Manistee County Soil Erosion and Sedimental Control ordinance, authorized under Part 91 of Act 451 of 1994, as amended, the Soil Erosion and Sedimentation Control Act.
- All erosion and sedimentation control work shall conform to the standards and specifications of the local controlling jurisdiction.
- Erosion and any sedimentation from work on this site shall be contained on the site and not allowed to collect on any off site areas or in waterways. Waterways include both natural and man made open ditches, streams, storm drains, lakes and ponds.
- Staging the work will be done by the landowner or landowner's representative as directed in these plans and as required to ensure progressive stabilization of disturbed earth change.
- The landowner or landowner's representative shall be responsible for installation and maintenance of soil erosion and sedimentation control devices.
- The landowner or landowner's representative shall implement and maintain the soil erosion control measures as shown on the plans before and at all times during construction on this project. Any modifications or additions to soil erosion control measures due to construction or changed conditions shall be complied with as required or directed by the local jurisdiction.
- If any of the SESC measures on the site are deemed inadequate or ineffective, the Manistee County Drain Commissioner's office has the right to require additional SESC measures at the expense of the landowner.
- Contractor is clean the portions of roads adjacent to the project if dirt, debris or other material is being deposited on the roadway as needed. Adjacent roadway should be inspected at minimum once a day to determine if street sweeping is needed, and may be required multiple times a day, depending on vehicular traffic and debris.
- During dry periods, all disturbed areas shall be watered for dust control.
- Permanent soil erosion control measures for all slopes, channels, ditches, or any disturbed land area shall be completed within 5 calendar days after final grading or the final earth change has been completed. When it is not possible to permanently stabilize a disturbed area after earth change activity ceases, temporary soil erosion control measures shall be implemented immediately. All temporary soil erosion control shall be maintained until permanent soil erosion control measures are implemented. All permanent soil erosion control measures will be implemented and established before a certificate of compliance is issued.
- Final grade, establish vegetation and or landscape all disturbed areas not built or paved upon.
- Dewatering is not anticipated during the life of this project. If dewatering should become necessary, the site will be dewatered into a well established vegetative buffer and in accordance with all other rules and regulations of the local jurisdiction. The contractor shall be responsible for obtaining any necessary permits for dewatering prior to discharge.
- Remove all temporary soil erosion devices after permanent stabilization is established.
- Area of disturbance approximately 6.5 acres.
- All Silt Fence shall be 36" in accordance with Livingston County's requirements.

NOTE: SILT FENCE SHALL CONSIST OF FURNISHING, ERECTING, MAINTAINING, REMOVING, AND DISPOSING OF A SILT FENCE, CONSISTING OF A POST SUPPORTED GEOTEXTILE. INSTALLATION, INCLUDING PROPER ENTRENCHING, SHALL BE ACCOMPLISHED AS SPECIFIED OR APPROVED ACCORDING TO THE MANUFACTURER'S PUBLISHED RECOMMENDED PRACTICE. (CURRENT M.D.O.T. SPECIFICATIONS)



LEGEND:

- TP - TOP OF PAVEMENT
- TC - TOP OF CONCRETE
- BC - BACK OF CURB
- GP - GUTTER PAN
- FF - FINISH FLOOR
- G - GROUND
- RIM - RIM ELEVATION
- INV - INVERT ELEVATION
- 123.15 @ - ELEVATION AT LOCATION
- - - - - DIRECTION OF SURFACE FLOW
- 54 - SESC KEY NUMBER (See Sheet C-12)
- - - - - LIMITS OF DISTURBANCE



PROJECT NUMBER: P-190545	SCALE: As Shown
ENGINEER: Timothy L. Lapham, P.E., P.S. 27595	SHEET: C-13
REVISED: April 21, 2020 for Engineering Review	
REVISIONS:	
DRAWN BY: S.E. Bell	

SESC Plan
 Multi-Family Residential Development
 4912 Universal Dr., Midland, MI 48642
 For
 PKP Properties, LLC

LAPHAM ASSOCIATES
 ENGINEERING
 PLANNING
 ENVIRONMENTAL
 SURVEYING
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APPROVED USE FOR:	C-13
○ PRELIMINARY	
● PERMIT/BID	
○ CONSTRUCTION	
○ FINAL RECORD	



City Hall ♦ 333 West Ellsworth Street ♦ Midland, Michigan 48640-5132 ♦ 989.837.3300 ♦ 989.835.2717 Fax ♦ www.cityofmidlandmi.gov

March 29, 2020 **a clerical error was made and this date should have been April 29, 2020*

Dear Sir/Madam:

Following direction from the Midland City Council, you are invited to provide public comments relating to Site Plan No. 399, the request by PKP Properties, LLC for site plan review and approval of a 22 unit multiple-family residential development, totally 50,688 square foot, located at 4908 and 4912 Universal Drive.

Said opportunity will take place on **Tuesday, May 12, 2020 at 7:00 p.m.** during the Midland City Planning Commission meeting. This meeting will be held virtually due to the ongoing COVID-19 Pandemic.

The meeting will be broadcasted live on ATT U-Verse Channel 99; MGTV Channel 188 and online at Cityofmidlandmi.gov/video

To join via videoconference, go to:

<https://zoom.us/join> | **Webinar ID:** 869 7592 7298 | **Password:** 411746

To join via telephone, dial:

+1 (312) 626-6799 or +1 (646) 558-8656 | **Webinar ID:** 869 7592 7298 | **Password:** 411746

A copy of the site plan may be obtained ahead of the meeting. If you would like a copy of the site plan transmitted to you or if you would like to transmit written comments ahead of the hearing, please email gmurschel@midland-mi.org.

Sincerely,

Grant Murschel
Director of Planning & Community Development

Murschel, Grant

From: Kathy Burwick <ilakat52@gmail.com>
Sent: Wednesday, April 29, 2020 3:26 PM
To: Arnosky, Steve; Murschel, Grant
Subject: Fwd: Raintree/Townhouses

Sent from my iPhone

Begin forwarded message:

From: Kathy Burwick <ilakat52@gmail.com>
Date: April 29, 2020 at 3:02:12 PM EDT
To: robbieev@icloud.com
Subject: Raintree/Townhouses

Hello Mr Arnosky,

I'm writing to you because of the council meeting this last Monday night. I just rewatched the meeting this afternoon. It is clearly stated that each unit would have it's own kitchen and be like a separate apartment. I myself and everyone that has made it back from vacations have seen the schematics of the complex. They do not have separate kitchens as we and you were told Monday night. The schematics show laundry in the basement along with 2 units with bathrooms and desks. The main floor is the community kitchen and living area. The top floor is another 2 units with their own bathrooms and desks.

To me it sounds like a dorm I'm sure you would agree if you saw the schematics.

I'm the one who expressed that I had just bought 5000 Universal Dr which is next to the future buildings. 22 units and 4 spots inside each unit comes to 88 needing parking in a 51 spot parking lot.

Thank you so much for taking the time to read this and thank you for pushing it back to the Planning Committee

Kathleen Burwick
5000 Universal Drs.
Sent from my iPhone

Murschel, Grant

From: Kaye, Brad
Sent: Thursday, April 30, 2020 4:39 PM
To: Murschel, Grant
Subject: FW: Resolution: Opposition Site Plan No. 399

Grant,

For inclusion in the PC agenda re SP #399.

C. Bradley Kaye, AICP CFM

City Manager
City of Midland

From: Donker, Maureen
Sent: Thursday, April 30, 2020 3:11 PM
To: Kaye, Brad
Subject: FW: Resolution: Opposition Site Plan No. 399

FYI

From: Jennifer Nosakowski [jnosakows@yahoo.com]
Sent: Monday, April 27, 2020 9:02 PM
To: Donker, Maureen
Subject: Resolution: Opposition Site Plan No. 399

Dear Mayor Donker,

My name is Jennifer Nosakowski, I am a resident at 5126 Raintree Drive, Midland. I was in attendance of the virtual City Council meeting to respectfully oppose the Resolution #11 for April 27th, 2020 regarding: "Site Plan No. 399- initiated by PKP Properties, LLC for site plan review and approval of a 22-unit multiple family residential development, totaling 50,688 square feet, located at 4908 and 4912 Universal Drive".

As an adjacent condominium owner, I oppose this resolution due to the existing oversaturation of multi-family homes and rental properties in this small area of the city. In addition, I have concerns about the removal of the wooded lot to develop this property will destroy the character of the community and that the existing property values nearby will be driven down buy this development.

Thank you for your consideration.
Jennifer Nosakowski

(989)330-4313
jnosakows@yahoo.com

Murschel, Grant

From: Gloria Dole <gloria.dole@att.net>
Sent: Friday, May 01, 2020 2:55 PM
To: Murschel, Grant
Subject: [senderbase] Site Plan #399 Danbury Place Development

I am one of the 34 homeowners at Raintree Condominiums. I live at 5012 Universal Drive. We don't need anymore traffic on Universal. I have enough trouble getting in and out of my driveway without a potential of 88 more cars. I am completely against this development. Please do not approve this.

Gloria Dole

5012 Universal Drive

Midland, Mi 48640

Murschel, Grant

From: kathy fischer <fischer.kathy@att.net>
Sent: Friday, May 01, 2020 7:27 PM
To: Murschel, Grant
Subject: New construction concerns

Grant I am Kathy Fischer currently own 5015 Raintree Dr in Midland and I have concerns about traffic on Universal already, we already have intensive traffic who are mostly students. Our residents are mostly elderly and we enjoy our privacy from the lot behind me. If the city builds more student housing it's going to be very disruptive especially to Raintree residents. I am not in favor of this new building going up, just seems with all the empty buildings in Midland it seems like those would ideal building sites. Thank you

[Sent from AT&T Yahoo Mail on Android](#)

Murschel, Grant

From: glenn f sanford <2sanfords2@gmail.com>
Sent: Friday, May 01, 2020 8:07 PM
To: Murschel, Grant
Subject: The Proposed Building Project on Universal

May 1, 2020

Dear Mr. Murschel:

In two other emails, I am sending you photos that further indicate concerns we at Raintree Condominiums have with the proposed improved drain between our property and the building project. The photo of Raintree Drive 5012's backyard shows water that collected due to a gentle rain on the night of April 28, 2020, a rain that continued throughout April 29. The far edge (eastern) of this "pond" is about twenty feet from the drain and the property line.

The photo of Raintree Drive 5008's backyard shows water collected at the same time as described above. The condo you see in this photo is the back side of Universal 5000, which is the condo that is closest to the property line (and was sold to a person who was not told of the building project).

Both of these low spots collect water when there is moderate to heavy rain, but for the first time, on the morning of April 29, 2020, I saw these surprising amounts after a gentle albeit all night rain. In the 2017 flood, my crawl space (5012 Raintree) took in some water because the ground was saturated.

I understand that the drain will be greatly improved, but it can be assumed that the project on Universal will require a huge quantity of concrete in a relatively small area. This may well have a negative effect on our condo properties and could result in loss of property values. It can be assumed that a large amount of the poured concrete will be for parking, but fifty-one spots will surely be inadequate for a potential of 88 cars I taught at Northwood and can say without pause that almost all Northwood students who are allowed to have cars, have cars. To see what inadequate student parking looks like, check out the two Hedgewood Drive student houses next to (south of) the American Legion. (It was suggested by someone at the City Council meeting that young professionals may want to live in the proposed buildings; but young professionals, and certainly none starting a family, would care to live in a student housing setting let alone this one specifically designed for students.

I also envision a big increase in the number of cars on Universal as a traffic problem at certain times of day. Consider that neighborhood this is a small but densely populated area of Midland:

On Universal Drive, Raintree Condominiums, Colonial Villa, The Pines of Midland, and unnamed residential multiple-apartment buildings;

On Hedgewood Drive: three medical services buildings; Medilodge nursing home, Hedgewood Place Apartments, Woodland Place, the American Legion, and Northwind Forest. Woodland Place and Northwind Forest are huge complexes! The small lot on which the proposed four two-story buildings are to be built has been the one little breathing space our neighborhood has had.

Thank you for reading this letter and viewing the two photos sent separately.

Carol L. Sanford
5012 Raintree Drive
Midland, MI 46440



Murschel, Grant

From: Marilyn Shearer <shearermarylyn@yahoo.com>
Sent: Saturday, May 02, 2020 10:11 AM
To: Murschel, Grant
Subject: Apartment development

I live in the Raintree Condominiums and am concerned about the proposed new apartments. Please consider the noise level it would create. Has the water drainage issue been addressed? Thank you for your concern.

Respectfully,
Marilyn Shearer
Sent from my iPhone

Murschel, Grant

From: Letitia Scribner <letitiascribner@sbcglobal.net>
Sent: Saturday, May 02, 2020 10:30 AM
To: Murschel, Grant
Subject: Site Plan #399

Mr. Murschel:

I have been a condo owner/resident of Raintree Condominiums for eighteen years. In all that time it's been a stable area to live in, considering all the condos/apartments in the area. Even the American Legion has created no problems.

I realize it's a choice area for the project planned. I have no problem with it being developed. I do have a problem with the density being considered for such a small area. This has never been considered a flood area and yet in the flood a few years ago Dublin flooded beyond Universal and our storm water pools flooded well into our yards. Adding so many apartments/people to the area can only create more problems.

The landscaping plans, without fencing between the apartments and the condominiums, would not be adequate. In the winter months that area is wide open.

I appreciate the opportunity to address this project and ask that the Planning Committee reconsider Project #399.

Letitia Scribner
5000 Raintree Drive
Midland, MI 48640
(989) 837-9736

From: Shirley Brown <sabrown38@gmail.com>
Sent: Saturday, May 02, 2020 5:22 PM
To: Murschel, Grant
Subject: Universal Drive proposal

We are a condo association of mostly elderly owners who have lived here for many years. I moved here in about 2007. When the city council allowed Hedgewood to be blocked off so many people living in apartments, including students, I began to notice loud cars using Universal to get to Dublin. Also I noticed many would slow down but just

slide right through to Dublin. With a possibility of 88 additional cars driven by students driving on Universal, this is a nightmare for me.

In addition, we were first told they would be apartments for families, not students. That was hard enough to understand, but to have 88 students, I can only imagine the additional noise that will bring especially to our owners of condos that are so

close to them without any fence or divider of some sort.

I feel this is a travesty of the city of Midland to allow this to happen. Am aware the Planning Commission approved the proposal, but I would ask you to please reconsider and think of how else the property could be used to be good neighbors instead of allowing this to happen. Thank you.

Shirley Brown

5006 Stephanie Drive

48640

Murschel, Grant

From: Robert Everett <robbieev@icloud.com>
Sent: Monday, May 04, 2020 12:07 PM
To: Murschel, Grant
Subject: Fwd: Pnacek Development - Universal Drive

Sent from my iPhone

Begin forwarded message:

From: Terri Cooper <tacooper03@gmail.com>
Date: May 3, 2020 at 5:01:44 PM EDT
To: Robert Everett <robbieev@icloud.com>
Subject: Pnacek Development - Universal Drive

May 2, 2020

To the City of Midland Planning Commission:

Hello, my name is Phyllis Parling. I live at 5009 Stephanie. I have been a resident here at the Raintree Condominiums for 22 years. Retiring from Dow Corning in 1988, I wanted to continue my community connection with Midland by choosing this stable neighborhood in which I felt secure.

The proposed development of Danbury Place on Universal Drive will exponentially increase the population density of the surrounding area. Placing a large mass of unrelated transient adults in a small plot of land will certainly create social conflict. It is not conducive to the true nature of community. Common-unity.

With an increase in potentially over 80 more vehicles coming to and from the proposed development, the influx of traffic on Universal will create additional serious safety concerns. Exiting onto Universal from Raintree drive can be difficult due to the curvature of the street which causes a visual deficit. At my age of 90, trying to navigate safely into the heavier burden of a certainly busier thoroughfare will be a daily nightmare.

I ask the Planning Commission to please take a closer look at the placement of this development. It defies common sense and the spirit of community to erect a complex purposely designed to house as many people as possible in the smallest amount of space.

Regards,
Phyllis Parling
(989)631-7473



Warner Norcross + Judd LLP

May 6, 2020

Via Email

Mr. Grant Murschel
Director of Planning and Community Development
City of Midland
333 W. Ellsworth Street
Midland, Michigan 48640

Re: Planning Commission Review of Site Plan No. 399

Dear Mr. Murschel and Members of the Planning Commission:

Our firm represents Ms. Kathy Burwick. She recently purchased and resides at 5000 Universal Drive. Her home is part of the Raintree condominium development which is to the immediate west of the proposed apartment buildings contemplated in Site Plan No. 399. In fact, Ms. Burwick's home is most closely located to the shared property line.

As the Commission heard from some residents at its April 14th meeting, and as the City Council heard from more residents on April 27th, Ms. Burwick and the Raintree neighborhood strongly object to the project requested by PKP Properties, LLC. In addition to reasons that have already been raised regarding noise, traffic, drainage, and parking, I would like to present two other reasons why the Planning Commission should deny, or at least delay consideration of, Site Plan No. 399.

As an initial matter, we question the Planning Commission's decision to be holding meetings at all during the COVID-19 pandemic and Governor Whitmer's executive orders. The relevant orders which suspended certain provisions of the Open Meetings Act¹ state that meetings of public bodies "may" be held electronically, but it does not mandate that such meetings "must" be held. And in point of fact, many public bodies have suspended public hearings during this time. Certainly, the overall imperative of the Governor's executive orders is that non-essential matters be placed on hold. While PKP Properties may certainly desire to have this matter resolved, in no way can it be considered essential to health and safety that this business be conducted.

Travel and physical distancing restrictions have made it impossible for parties supporting or opposing matters before public bodies such as planning commissions to communicate, organize,

¹ Executive Orders 2020-15 and 2020-48.

Adam D. Bruski | Senior Counsel

D 989.698.3707

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E abruski@wnj.com

715 East Main Street, Suite 110

Midland, MI 48640

and present their arguments as they typically would. In the case of the residents of Raintree, they are unable to meet as a neighborhood to discuss this issue, nor can they meet with counsel or other professional advisors in a meaningful way. For these reasons, we ask that the Planning Commission delay further consideration of Site Plan No. 399 until after public gathering restrictions have been lifted.

In the event that the Planning Commission does decide to proceed on this matter, it still cannot approve this site plan pursuant to the City's Zoning Ordinance. The property is zoned Residential B – which permits “multiple family dwellings” provided they comply with special standards.² A “dwelling, multiple family” is one occupied by “three (3) or more families”.³ However, the target clientele of the proposed development does not meet the Ordinance's definition of “family.” Specifically, a “family” under the Ordinance is either:

1. A domestic family, that is, one or more persons living together and related by the bonds of consanguinity, marriage, or adoption, together with servants of the principal occupants and not more than one additional unrelated person, with all of such individuals being domiciled together as a single, domestic, housekeeping unit in a dwelling.

[or]

2. The functional equivalent of the domestic family, that is, persons living together in a dwelling unit whose relationship is of a permanent and distinct character and is the functional equivalent of a domestic family *with a demonstrable and recognizable bond which constitutes the functional equivalent of the bonds which render the domestic family a cohesive unit.* All persons of the functional equivalent of the domestic family shall be cooking and otherwise housekeeping as a single, nonprofit unit. *This definition shall not include any society, club, fraternity, sorority, association, lodge, coterie, organization or group where the common living arrangement and/or the basis for the establishment of the functional equivalency of the domestic family is likely or contemplated to exist for a limited or temporary duration.* There shall be a rebuttable presumption enforceable by the Zoning Enforcement Officer in the first instance that the number of persons who may reside as a functional equivalent family shall be limited to four (4). Such presumption may be rebutted by application to the Planning Commission for a conditional land use based upon the applicable standards in this Ordinance.⁴

² Section 15.02 C.1.

³ Section 2.02.

⁴ Section 2.02, emphasis added.

The target tenants of the PKP Properties development are clearly not described by the first part of the “family” definition. As to the second part, we believe that college students in Midland for the purposes of attending university do not possess a “demonstrable and recognizable bond which constitutes the functional equivalent of the bonds which render the domestic family a cohesive unit.” Further, “family” under the Ordinance “shall not include any ... group where the common living arrangement and/or the basis for the establishment of the functional equivalency of the domestic family is likely or contemplated to exist for a limited or temporary duration.” Students attending college on a semester by semester basis are, by their very nature, only there for a “limited or temporary duration.” In fact, the typical college year is not even equivalent to a full calendar year. The intent of this language in the Zoning Ordinance is to prevent transitory occupancy of properties in residential districts where other citizens have made long-term investments in the community.

It is for all the reasons that we ask that approval of Site Plan No. 399 be denied, or at least tabled for later consideration. Thank you for your time and consideration of this matter.

Very truly yours,

/s/ Adam D. Bruski

Adam D. Bruski

ADB/adb

Murschel, Grant

From: Jennifer Nosakowski <jnosakows@yahoo.com>
Sent: Wednesday, May 06, 2020 5:19 PM
To: Murschel, Grant
Subject: Concerns Re: Site Plan No. 399 Multi-Family Residential Development

To Mr. Murschel and Members of the Planning Commission,

My name is Jennifer Nosakowski, I am a resident at 5126 Raintree Drive, Midland. I am writing to respectfully oppose the proposal of Site Plan No. 399- initiated by PKP Properties, LLC for a 22-unit multiple family residential development, totaling 50,688 square feet, located at 4908 and 4912 Universal Drive. The proposed development raises many more disadvantages than advantages to the area and overall, is not needed in this neighborhood.

At the April 27th City Council meeting, many disadvantages caused by the building of this development were raised by the Raintree Condominium neighbors and myself. The number of units within this development presents an increase in traffic patterns, traffic noise and overflow of parking into neighboring streets and the American Legion which will compromise the safety and lifestyle of current residents. The building of this development will remove one of the last remaining woodlots between Dublin and Hedgewood Drive, decreasing the water retention area and increasing the flood risk to neighboring homes. In addition, the removal of the woodlot will decrease the privacy for residents and remove the habitat of residing wildlife; negatively impacting the character and the ecosystem of the neighborhood.

Recently, this property's compliance with the City's Zoning Ordinance has been questioned as to whether it meets the Residential B requirements; requirements that have been established to preserve and protect citizens that have made long-term investments in the community. The proposed development has targeted a maximum number of 88 people, many who will be temporary residents, adding to the already densely populated, rental properties in the area. In addition, the size of this proposed multi-family development is not needed as evident by the current surrounding vacancies. As of May 4th, 2020, four of the six apartment properties located on Universal Drive and Hedgewood Drive had a total of 14 vacant units. The other two additional apartment properties had not yet responded at the time of this letter (this also does not include the other existing rental properties within the 1 mile radius on Dublin and Saginaw Road). This data, and the above described disadvantages, demonstrates that another multi-family residential development is not needed in this neighborhood.

I urge the Planning Commission to take these concerns into sincere consideration to stop or postpone the approval of Site Plan No. 399 pending revisions of the parameters of the development and the existing neighborhood needs. Thank you for your consideration.

Sincerely,

Jennifer Nosakowski

(989)330-4313
jnosakows@yahoo.com



Grant Murschel
Planning Commission
Midland City Hall
333 W. Ellsworth
Midland, Mi 48640

Dear Mr. Murschel and Midland Planning Commission,

My name is Loretta Miller and I reside in the Raintree condominium development. I am writing to let you know that I strongly oppose the apartment complex development that is proposed to be built by our condos. We already have 2 apartment complexes near the condos that produce noise, partying and traffic. I am concerned that by building more apartments, we are opening ourselves up to more noisy neighbors, more fast traffic, and more rowdy college students. Not to mention the effect this could have on our property values.

Our condo development is primarily occupied by senior citizens, who purchased here for the quiet, safe environment. Please consider the abundance of apartment complexes we already have in the area, and the needs of the current home/condo owners, as you plan for the future.

Sincerely,

Loretta Miller

City of Midland Planning Commission
attn. Brent Munschel

If with all these extra children
we won't have the quiet times
we have now.

With all the extra cars we
will have more traffic to get
through

With all the extra young
people plus the ones across
the road ones we all ready
have. I'm sure we will have
more people

We will have a lot more
trouble.

Sorry for us not having
all these extra

FROM LEONA BEECK

